



TOWNHOMES AT STANTON SQUARE

APPLICATION TO THE DISTRICT OF COLUMBIA ZONING COMMISSION FOR
 CONSOLIDATED REVIEW AND APPROVAL OF A PLANNED UNIT DEVELOPMENT
 AND ZONING MAP AMENDMENT

APPLICANTS: HORNING BROTHERS, INC.
 1350 CONNECTICUT AVENUE, NW
 SUITE 800 | WASHINGTON, DC 20036

DEVELOPMENT TEAM

ARCHITECT

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DATE : January 30, 2007

INDEX

A.00 COVER	L1.00 RENDERED SITE PLAN
A.001 PERSPECTIVE	L1.01 ENLARGEMENTS AND IMAGES
A.002 STREETSCAPE ELEVATION	L1.02 SITE PLAN
A.003 STREETSCAPE ELEVATION	L1.03 BURIED BASEMENT LOCATION PLAN
A.004 TABULATION DATA	
A.010 PHOTO VIGNETTE	C.01 EXISTING CONDITIONS PLANS
A.011 PHOTO VIGNETTE	C.02 SITE PLAN
A.100 FLOOR PLANS UNIT A 14'	C.03 GRADING PLAN
A.110 FLOOR PLANS UNIT B 14'	C.04 UTILITY PLAN
A.120 FLOOR PLANS UNIT C 16'	C.05 CIRCULATION PLAN
A.130 FLOOR PLANS UNIT D 18'	C.06 SEDIMENTATION AND EROSION CONTROL PLAN
A.140 FLOOR PLANS UNIT E 20'	C.07 SEDIMENTATION AND EROSION CONTROL PLAN
A.200 ELEVATIONS UNIT A 14'	C.08 SEDIMENTATION AND EROSION CONTROL PLAN
A.210 ELEVATIONS UNIT B 14'	
A.220 ELEVATIONS UNIT C 16'	
A.230 ELEVATIONS UNIT D 18'	
A.231 ELEVATIONS UNIT D 18'	
A.232 ELEVATIONS UNIT D 18'	
A.240 ELEVATIONS UNIT E 20'	
A.241 ELEVATIONS UNIT E 20'	
A.300 ELEVATIONS UNIT A 14'	
A.310 ELEVATIONS UNIT B 14'	
A.320 ELEVATIONS UNIT C 16'	
A.330 ELEVATIONS UNIT D 18'	
A.340 ELEVATIONS UNIT E 20'	

ZONING COMMISSION
 District of Columbia
 CASE NO.05-35
 EXHIBIT NO.12B



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PERSPECTIVE CENTRAL GREEN

January 30, 2007

TOWNHOMES AT STANTON SQUARE
 WASHINGTON DC

HORNING BROTHERS
 SHEPHERD, VA



A 001



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STREETSCAPE ELEVATION

JANUARY 30, 2007

TOWNHOMES AT STANTON SQUARE

HORNING BROTHERS

HR-025A-000



3/16" = 1'

1" = 10'-0"

A 002



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STREETSCAPE ELEVATION

JANUARY 30, 2007

TOWNHOMES AT STANTON SQUARE

HORNING BROTHERS

HOR. 0254.000



A 003

Tabulation of Development Data		
Requirement	R-5-A PUD Guidelines/ Matter of Right	Project Design
FAR	1.0 (PUD) / 0.9 MOR	0.9
Building Height	60 feet (PUD) 40 feet (MOR)	28'-6" to ceiling 40'-3" to top of ridge max sight from slab
Building Lot Occupancy	40%	30.36% (109,368 s.f.)
Green Space		
Gross Floor Area	353,256 s.f. x 1.0 FAR Total 353,256 s.f. (PUD) 353,256 s.f. x 0.9 FAR Total 317,930 s.f. (MOR)	Total: 318,024 s.f. 243 Total spaces 1.2 spaces per unit on site
Parking	137 spaces (one for each residential unit)	

UNIT MIX		
Unit Type	Number of Units	Parking
14'x36' RL	43	43
14'x36' 2-story	20	
16'x36' RL	51	51-104
18'x36' FL	10	20
18'x36' RL	50	100
20'x36' SL	13	26
On site Street		17
Total	187	226

UPPER & LOWER UNIT MIX			
Unit Type	UPPER	LOWER	Parking
14'x36' RL	18	27	45
14'x36' 2-story	5	15	
16'x36' RL	17	34	51-104
18'x36' FL		10	20
18'x36' RL	23	27	100
20'x36' SL	5	3	26
On site Street			17
Total	68	121	226

Gross S.F.	Net S.F. w/ 2-car garage	Net s.f. w/ 1 car 3 br	Total Gross S.F./ unit	Total Building Lot occupancy
1,512.00	1,136 s.f.	1,314 s.f.	85,016.00	21,872.00
1,008.00			20,185.00	19,265.00
1,728.00	1,224 s.f.	1,504 s.f.	88,128.00	29,376.00
1,944.00	1,662 s.f.		19,440.00	6,480.00
1,944.00	1,614 s.f.		37,200.00	32,400.00
2,160.00	1,612 s.f.		25,080.00	9,260.00
				Total building occ. 109,368.00
				Building occ 30.36%
Lot Area	353,256.00 Building area		318,024.00	0.90 F.A.R.



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TABULATION DATA

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TOWNHOMES AT STANTON SQUARE

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HCR-026A-000.



A 004



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PHOTO VIGNETTE

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A 010



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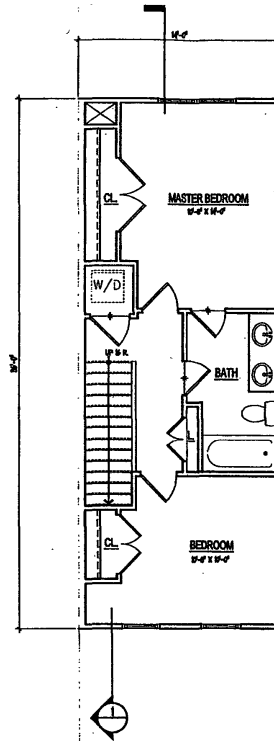
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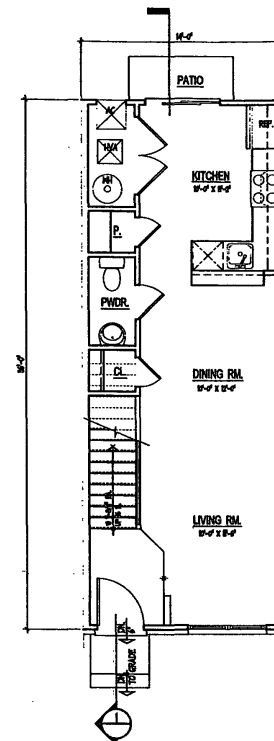


A 011

1-3-0426



2 Second Floor Plan
 SCALE: 1/8"=1'-0"
 CEILING HT. 8'-4-1/8"
 AREA: 671 SQ.FT.



1 Ground Floor Plan
 SCALE: 1/8"=1'-0"
 CEILING HT. 9'-1-1/8"
 AREA: 673 SQ.FT. MECH: 35.5 SQ.FT.
 TOTAL NET AREA: 708.5 SQ.FT.



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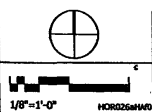
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FLOOR PLANS
 UNIT "A" 14' T.H.

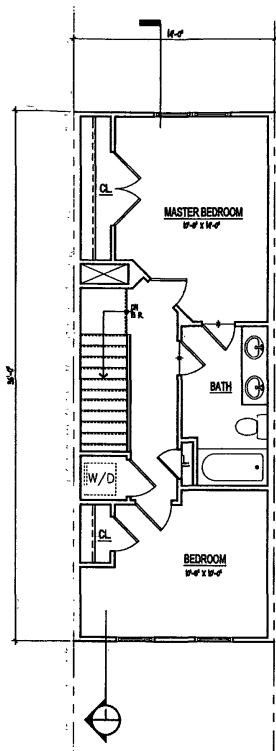
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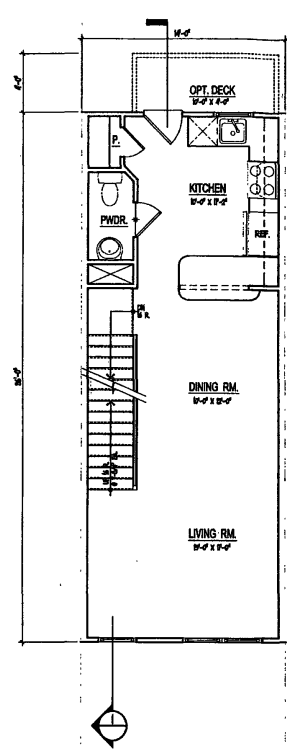
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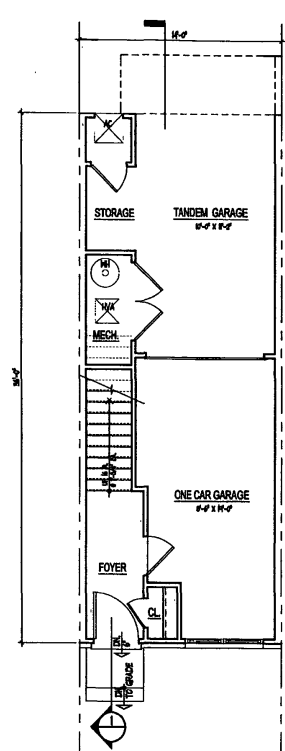
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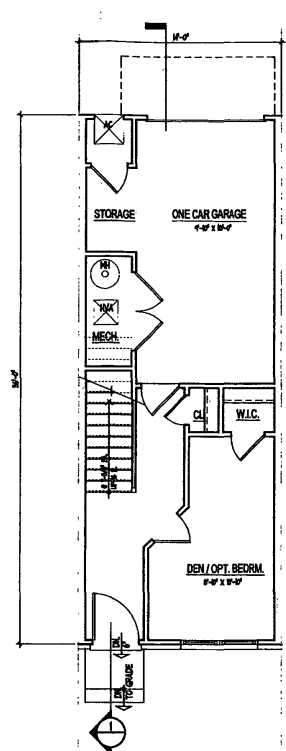
4 Third Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 478.9 SQ.FT.



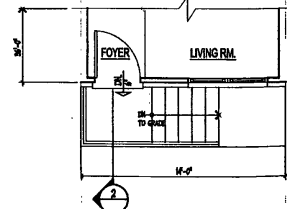
3 Second Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 504 SQ.FT. OPT. DECK: 80 SQ.FT.



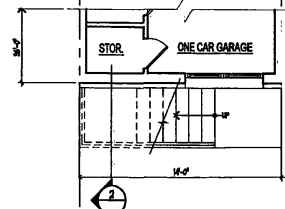
2 Ground Floor Plan - w/ Opt. Tandem Garage
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 89 SQ.FT. MECH: 41 SQ.FT. GARAGE: 370 SQ.FT.
 TOTAL NET AREA: 1233.5 SQ.FT.



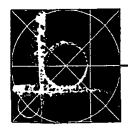
1 Ground Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 252 SQ.FT. MECH: 41 SQ.FT. GARAGE: 211 SQ.FT.
 TOTAL NET AREA: 1323.5 SQ.FT.



3a Second Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/2"
 AREA: 504 SQ.FT.



2a Ground Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/2"
 AREA: 78 SQ.FT. MECH: 41 SQ.FT. GARAGE: 389 SQ.FT.
 TOTAL NET AREA: 1298.5 SQ.FT.



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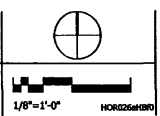
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FLOOR PLANS
UNIT "B" 14' T.H.

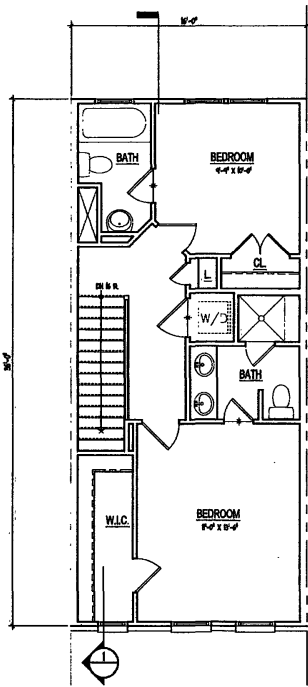
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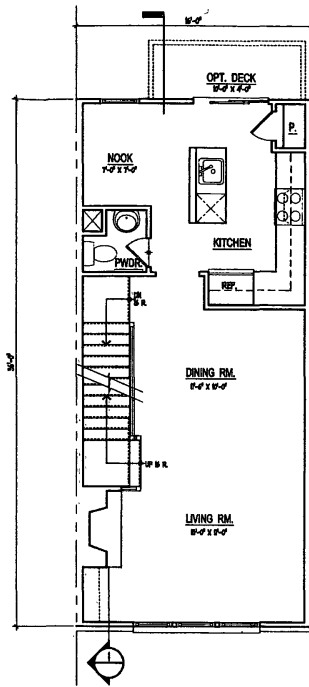
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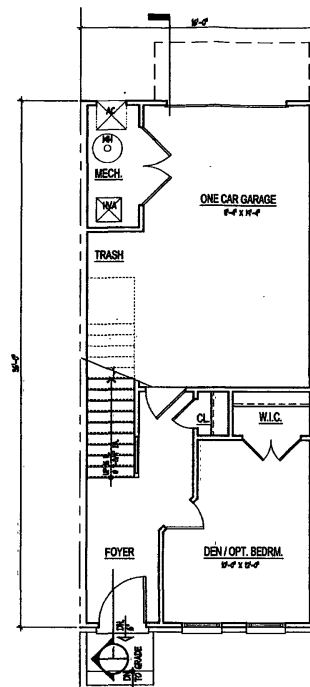
A.110



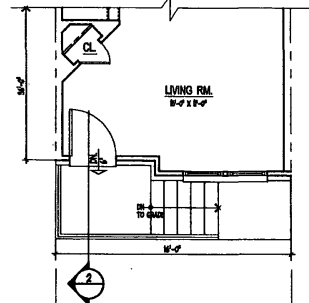
3 Third Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/8"
 AREA: 538.5 SQ.FT.



2 Second Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/8"
 AREA: 578.5 SQ.FT.



1 Ground Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/8"
 AREA: 782.5 SQ.FT. MECH.: 38.5 SQ.FT. GARAGE: 278.5 SQ.FT.
 TOTAL NET AREA: 1378.5 SQ.FT.



2a Second Floor Plan - w / Opt. English Basement
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/8"
 AREA: 586.5 SQ.FT.
 TOTAL NET AREA: 1404.5 SQ.FT.



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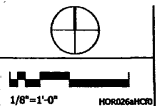
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FLOOR PLANS
 UNIT "C" 16' T.H.

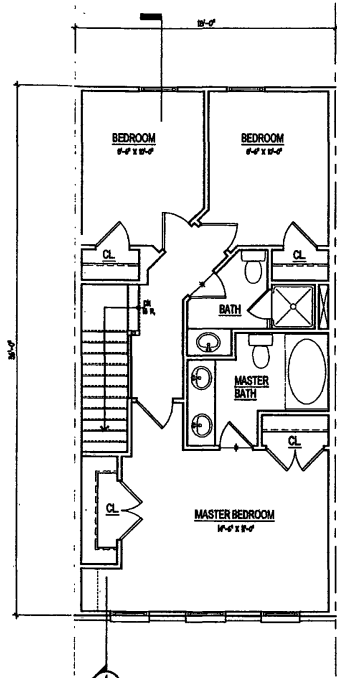
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TOWN HOMES AT
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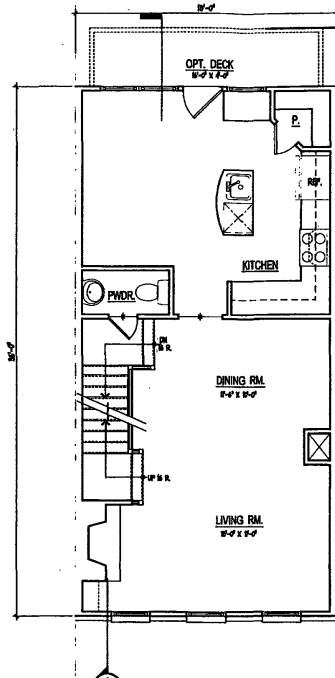
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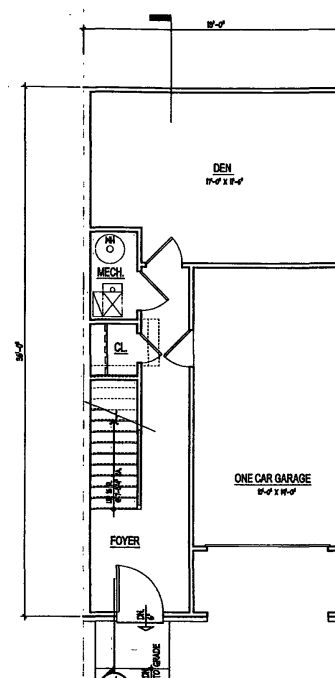
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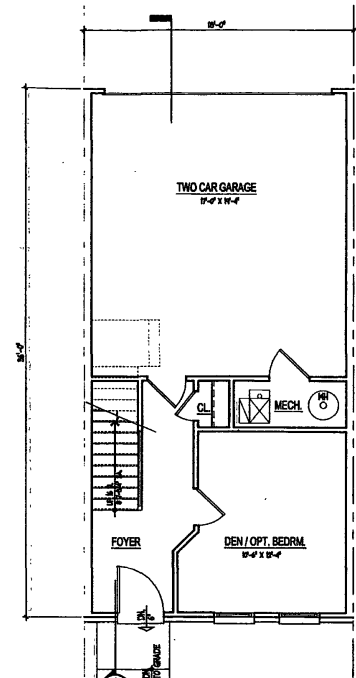
4 Third Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 8'-1-1/8"
 AREA: 628 SQ.FT.



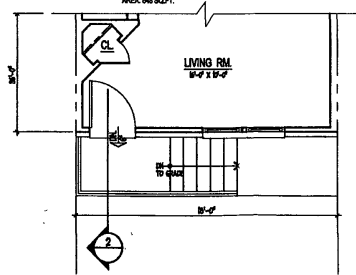
3 Second Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 841 SQ.FT.



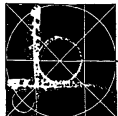
2 Ground Floor Plan w/ Front Load
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 380 SQ.FT. MECH: 19 SQ.FT. GARAGE: 240 SQ.FT.
 TOTAL AREA: 1040 SQ.FT.



1 Ground Floor Plan w/ Rear Load
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 383 SQ.FT. MECH: 27 SQ.FT. GARAGE: 353 SQ.FT.
 TOTAL AREA: 1322 SQ.FT.



3a Second Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: TOTAL AREA



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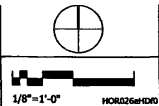
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FLOOR PLANS
 UNIT "D" 18' T.H.

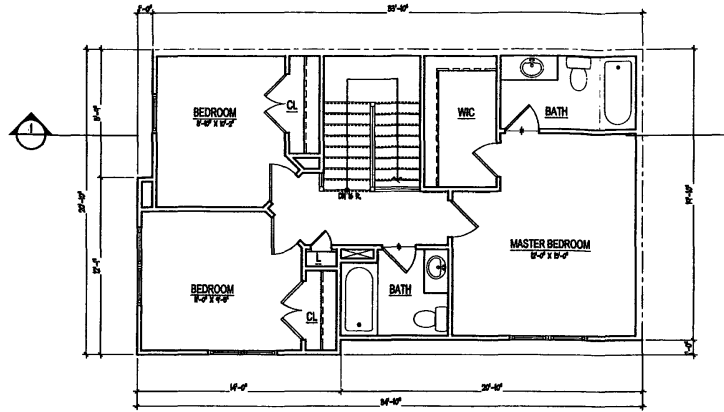
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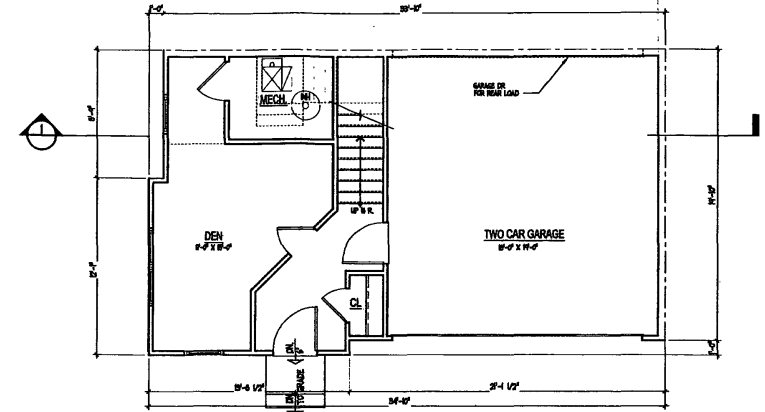
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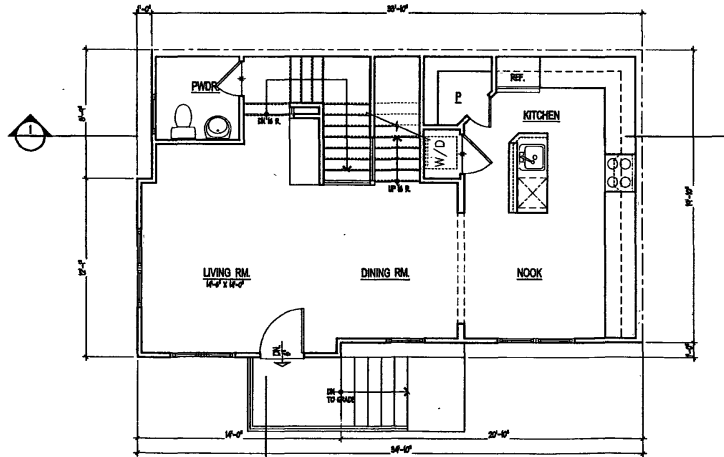
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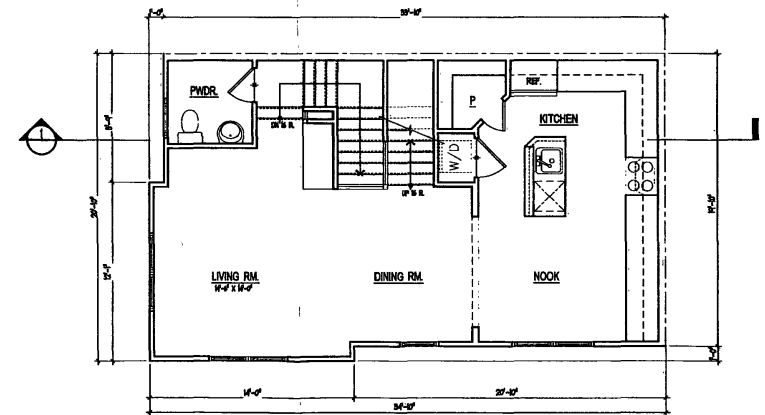
3 Third Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 8'-1-1/8"
 FOR 026.020
 AREA: 635 SQ.FT.



1 Ground Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 FOR 026.020
 AREA: 233 SQ.FT. MECH: 25 SQ.FT. GARAGE: 308 SQ.FT.
 TOTAL NET AREA: 1624 SQ.FT.



4 Second Floor Plan w/ Opt. English Basement
 SCALE: 1/4"=1'-0" CEILING HT. 8'-1-1/8"
 FOR 026.020
 AREA: 698 SQ.FT.



2 Second Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 8'-1-1/8"
 FOR 026.020
 AREA: 698 SQ.FT.



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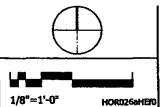
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FLOOR PLANS
 UNIT "E" 20' T.H.

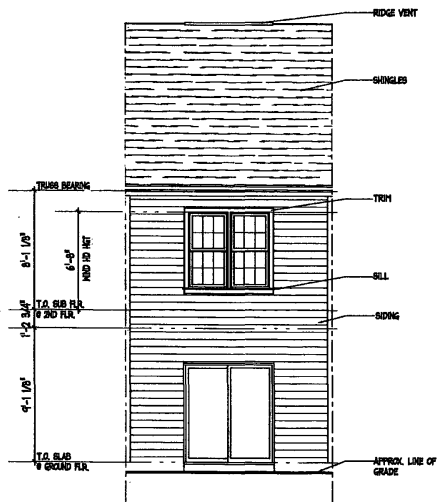
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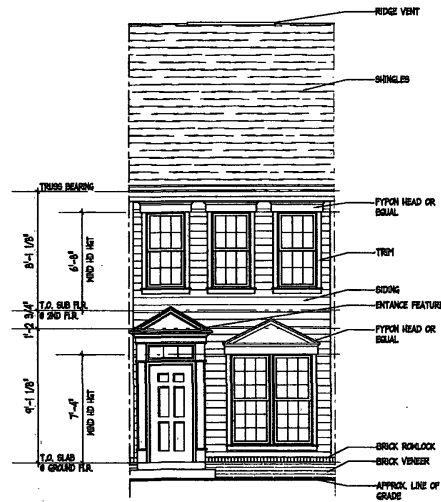
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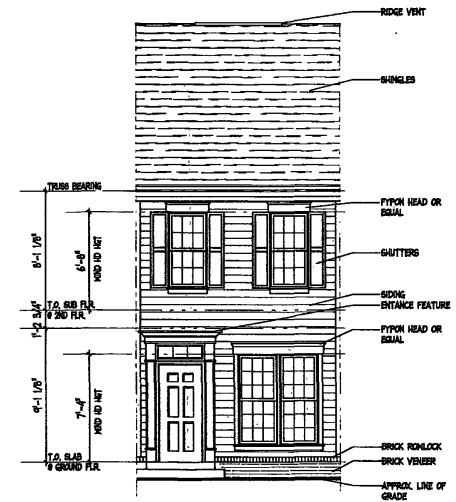
A.140



3 Rear Elevation Unit A



2 Front Elevation A-2 2 Story Slab on Grade
Shown in Siding



1 Front Elevation A-1 2 Story Slab on Grade
Shown in Siding



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ELEVATIONS UNIT "A" 14' TH

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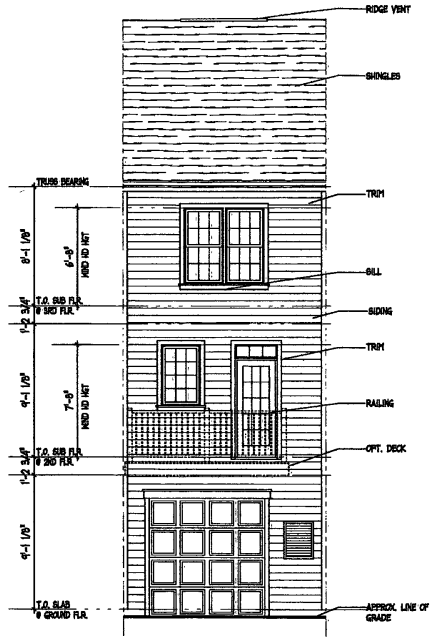
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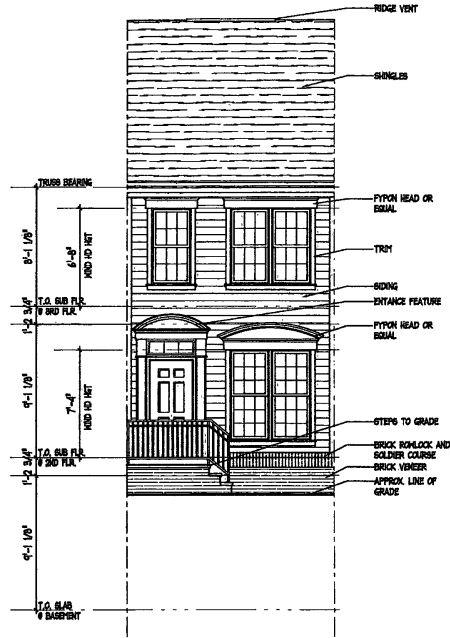


1/8" = 1'-0"
HORING20A.020

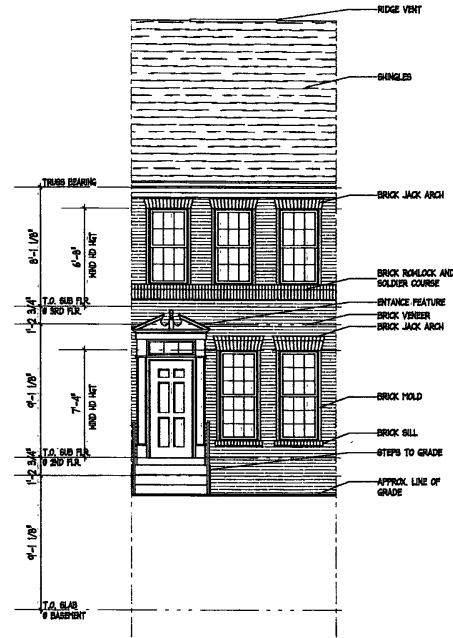
A.200



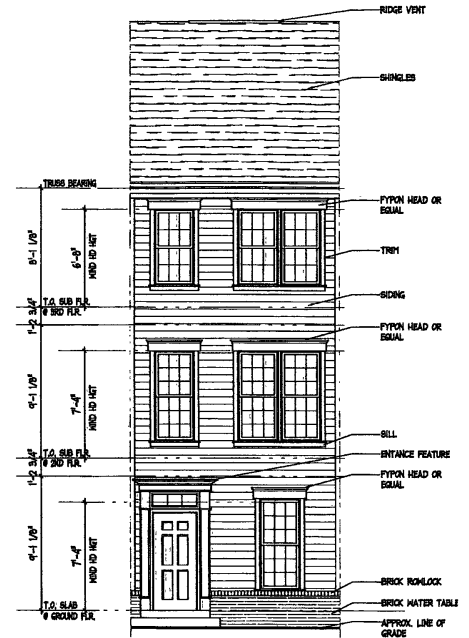
4 Rear Elevation Unit B



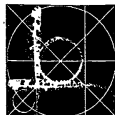
3 Front Elevation B-3 w / Opt. English Basement
Shown in Siding



2 Front Elevation B-2 w / Opt. English Basement
Shown in Brick



1 Front Elevation B-1 Slab on Grade
Shown in Siding



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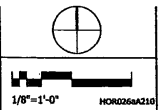
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ELEVATIONS UNIT "B" 14' TH

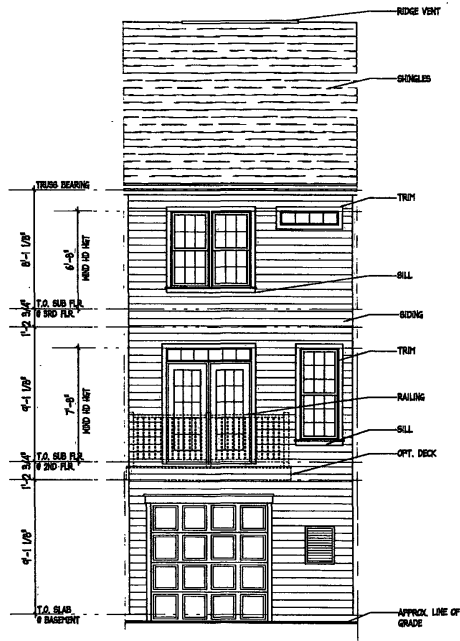
JANUARY 30, 2007

TOWN HOMES AT
STANTON SQUARE

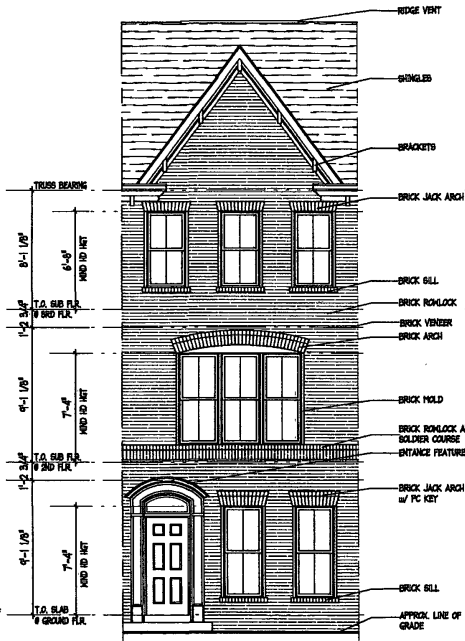
HORNING BROTHERS
HOR.026A.00G.



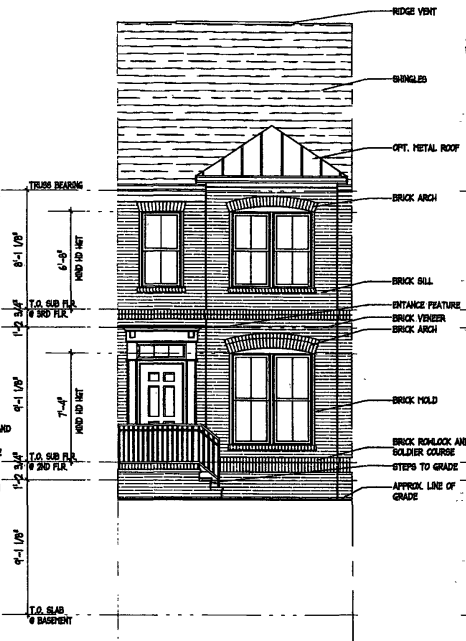
A.210



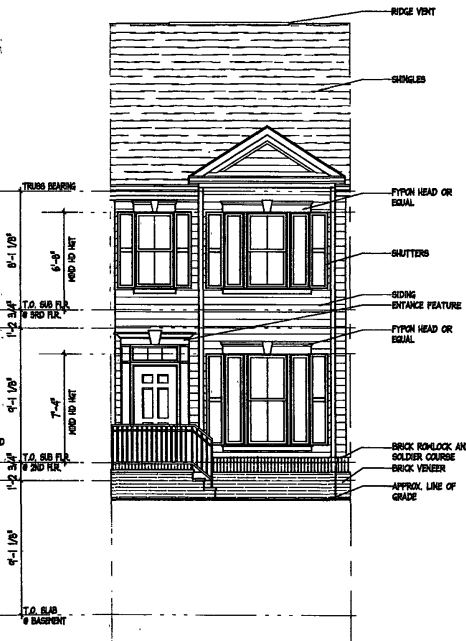
4 Rear Elevation Unit C



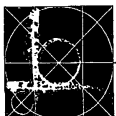
3 Front Elevation C-3 Slab on Grade Shown in Brick



2 Front Elevation C-2 w / Opt. English Basement Shown in Brick



1 Front Elevation C-1 w / Opt. English Basement Shown in Siding



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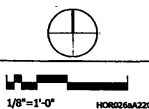
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ELEVATIONS
UNIT "C" 16' TH

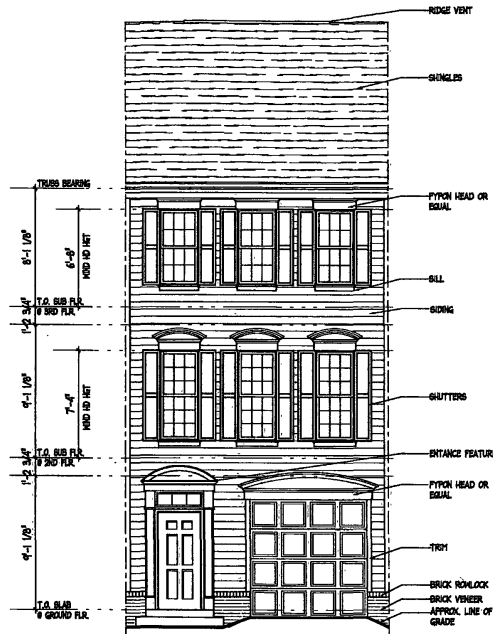
JANUARY 30, 2017

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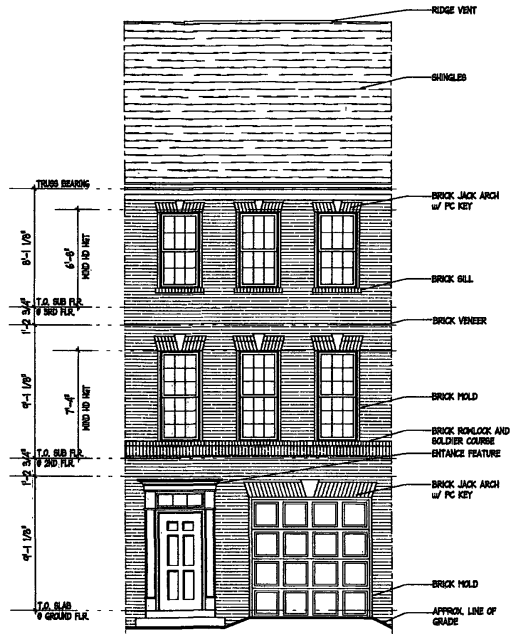
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HOR.026A.00G.



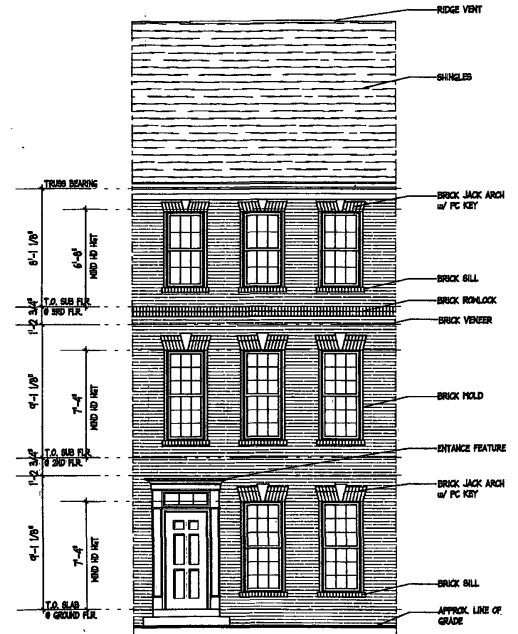
A.220



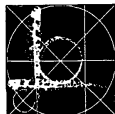
3 Front Elevation D-2 Slab on Grade
Alt. Front Garage w/ Siding



2 Front Elevation D-1 Slab on Grade
Alt. Front Garage w/ Brick



1 Front Elevation D-1 Slab on Grade
Shown In Brick



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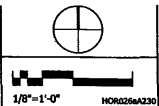
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ELEVATIONS
UNIT "D" 18' TH

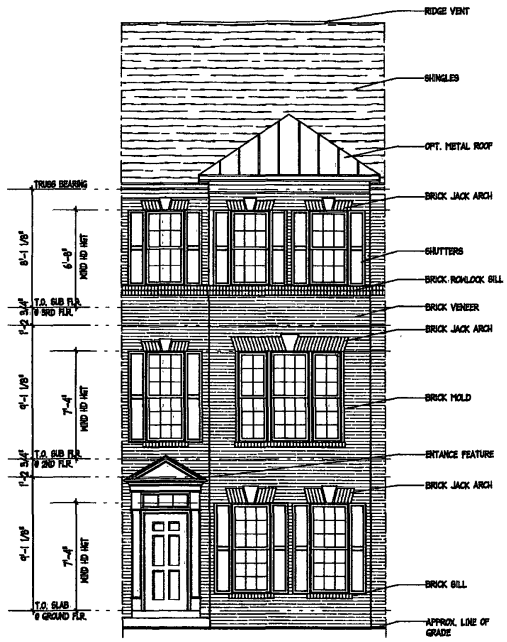
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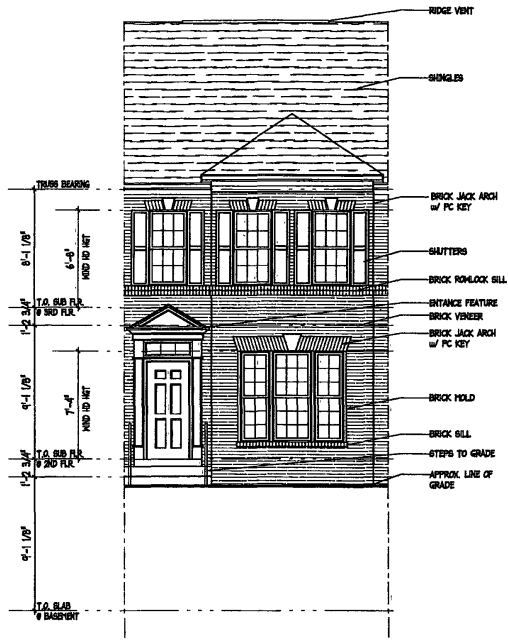
HORNING BROTHERS
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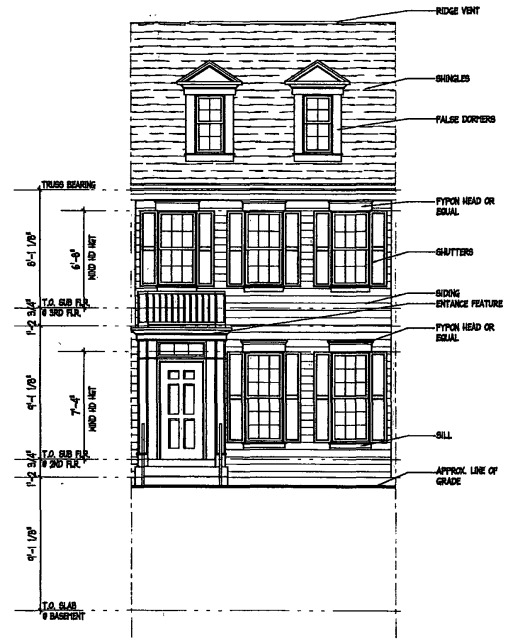
A.230



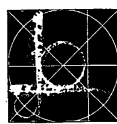
3 Front Elevation D-4 Slab on Grade
Shown in Brick



2 Front Elevation D-4 w / Opt. English Basement
Shown in Brick



1 Front Elevation D-3 w / Opt. English Basement
Shown in Siding



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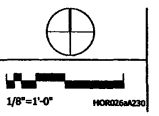
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ELEVATIONS
UNIT "D" 18' TH

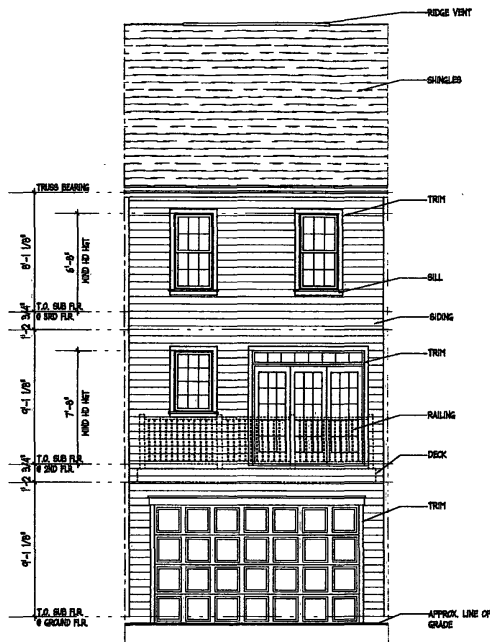
JANUARY 30, 2007

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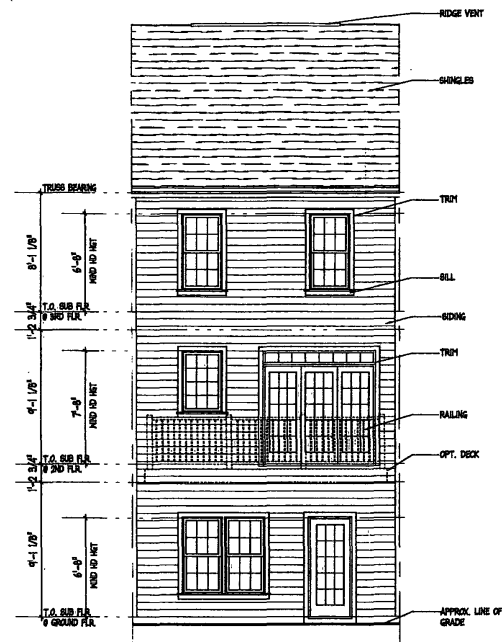
HORNING BROTHERS
HOR.026A.00G.



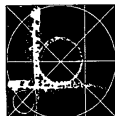
A.231



1 Rear Elevation - w / Rear Garage



1 Rear Elevation - w / Front Garage



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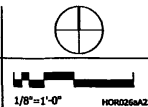
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ELEVATIONS UNIT "D" 18' TH

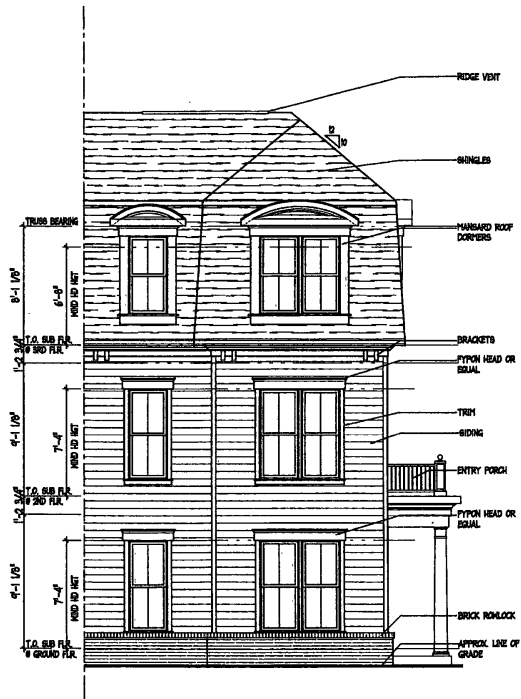
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STANTON SQUARE

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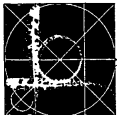
A.232



2 Side Elevation E-1 Slab on Grade
Shown in Siding



1 Front Elevation E-1 Slab on Grade
Shown in Siding



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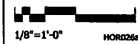
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ELEVATIONS UNIT "E" 20' TH

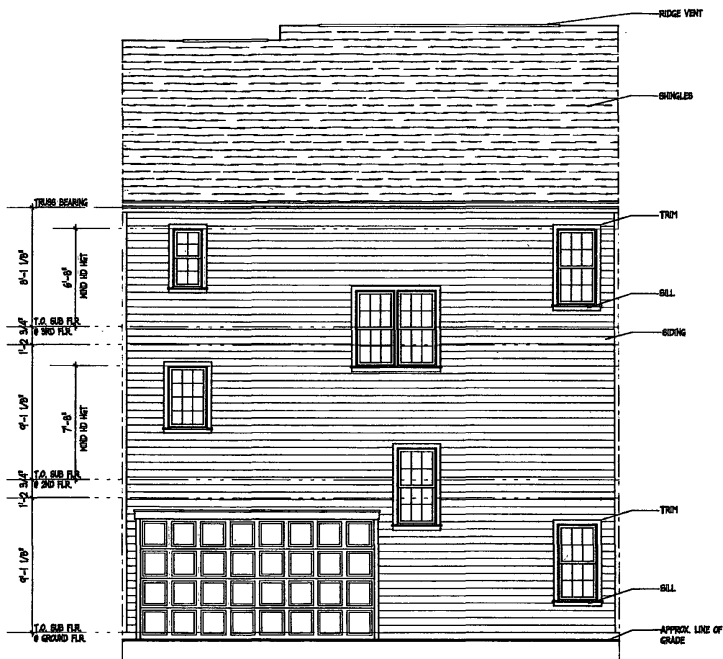
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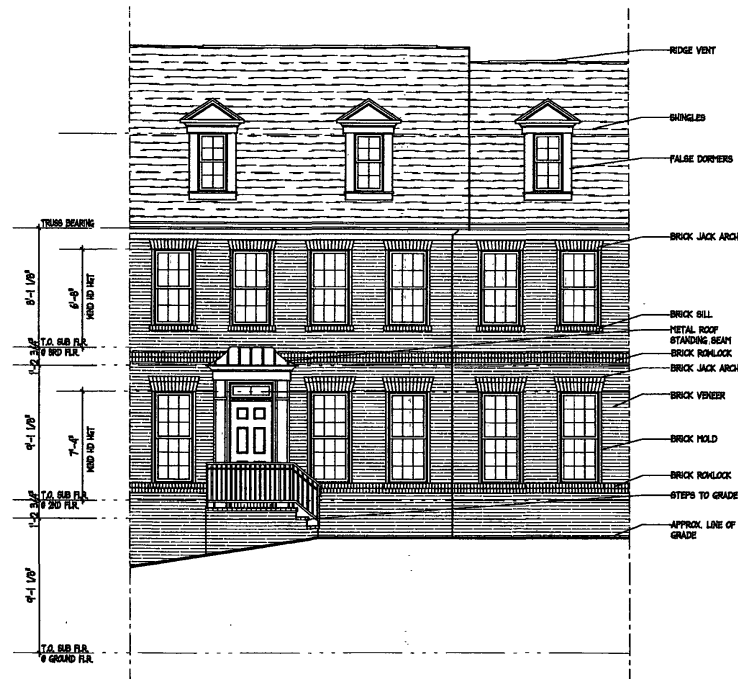
HORNING BROTHERS
HOR.026A.00G.



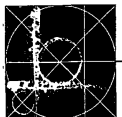
A.240



2 Rear Elevation E-2



1 Front Elevation E-2 w/ Opt. English Basement
Shown in Brick



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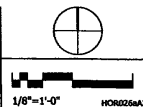
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ELEVATIONS UNIT "E" 20' TH

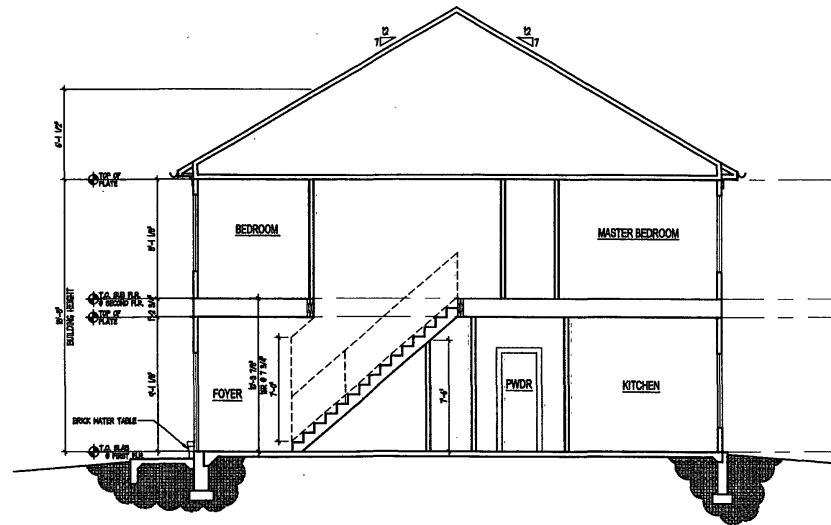
JANUARY 30, 2007

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
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A.241



1 Section - Unit A
SCALE 1/8"=1'-0"



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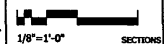
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SECTIONS
UNIT "A" 14' T.H.

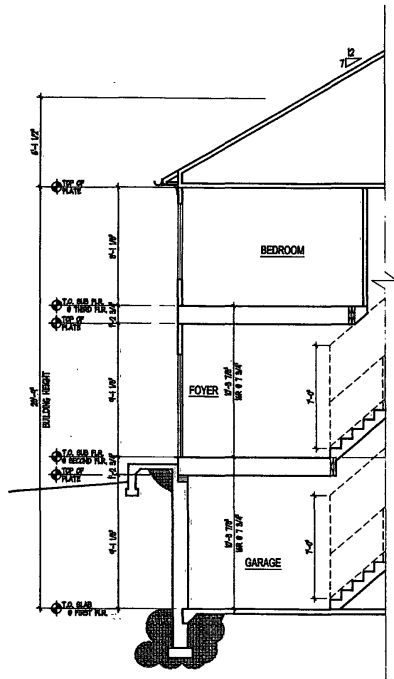
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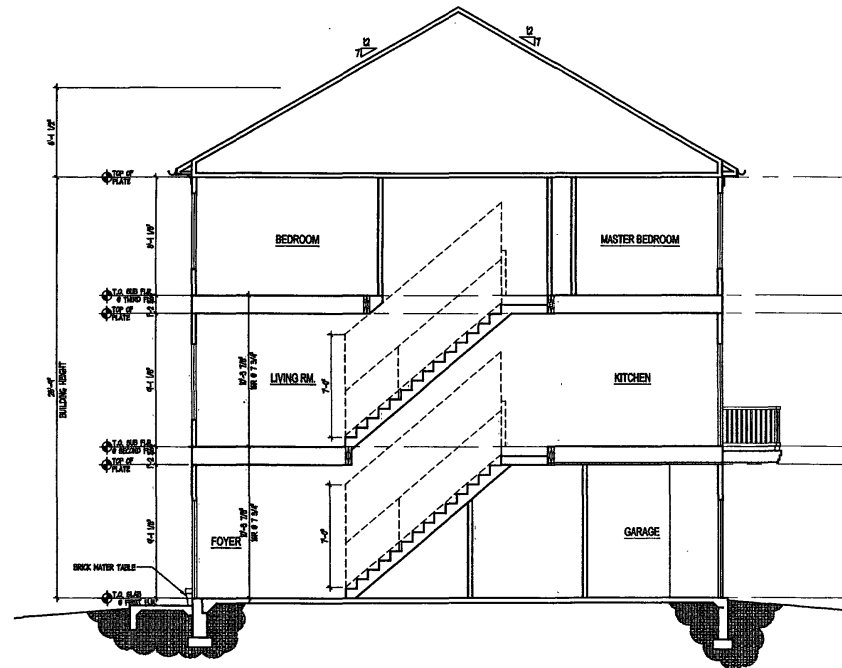
HORNING BROTHERS
HOR.026A.00G.



A.300



2 Partial Section - Unit B - w / Opt. English Basement
SCALE: 1/4"=1'-0"



1 Section - Unit B
SCALE: 1/4"=1'-0"



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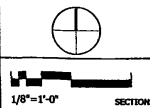
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SECTIONS
UNIT "B" 14' T.H.

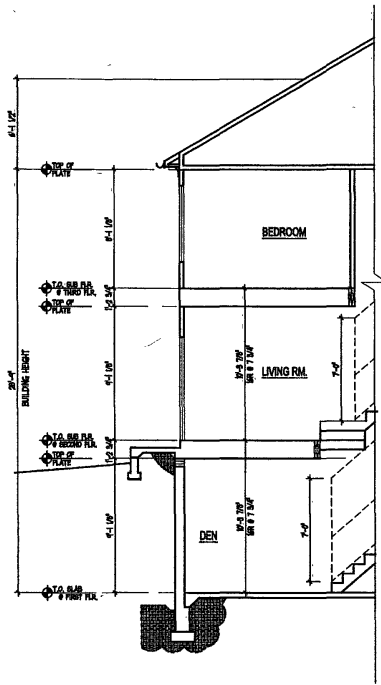
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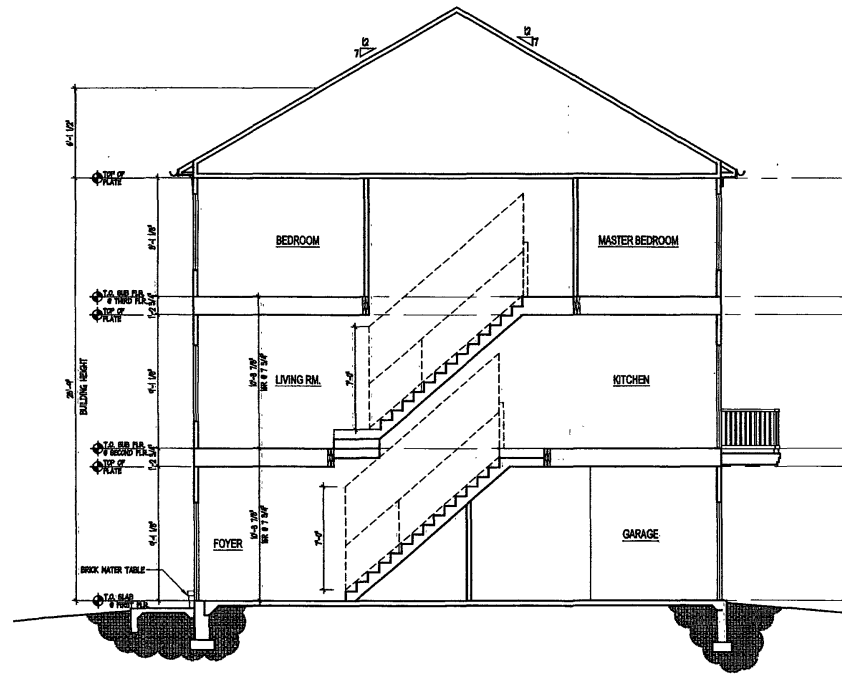
HORNING BROTHERS
HOR.026A.00G.



A.310



2 Partial Section - Unit C - w / Opt. English Basement
SCALE: 1/4"=1'-0"
HOR.026A.000



1 Section - Unit C
SCALE: 1/4"=1'-0"
HOR.026A.000



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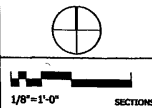
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SECTIONS
UNIT "C" 16' T.H.

JANUARY 30, 2007

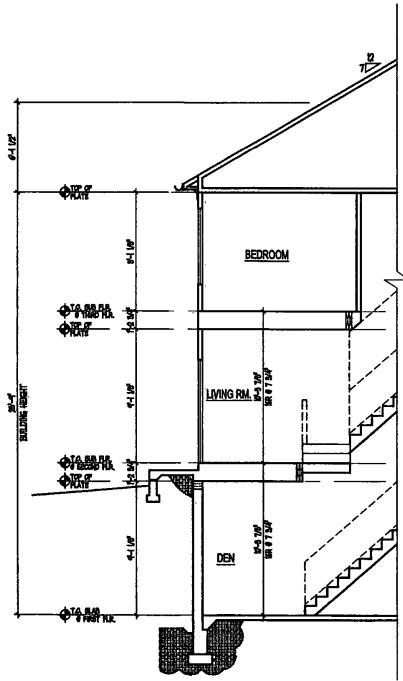
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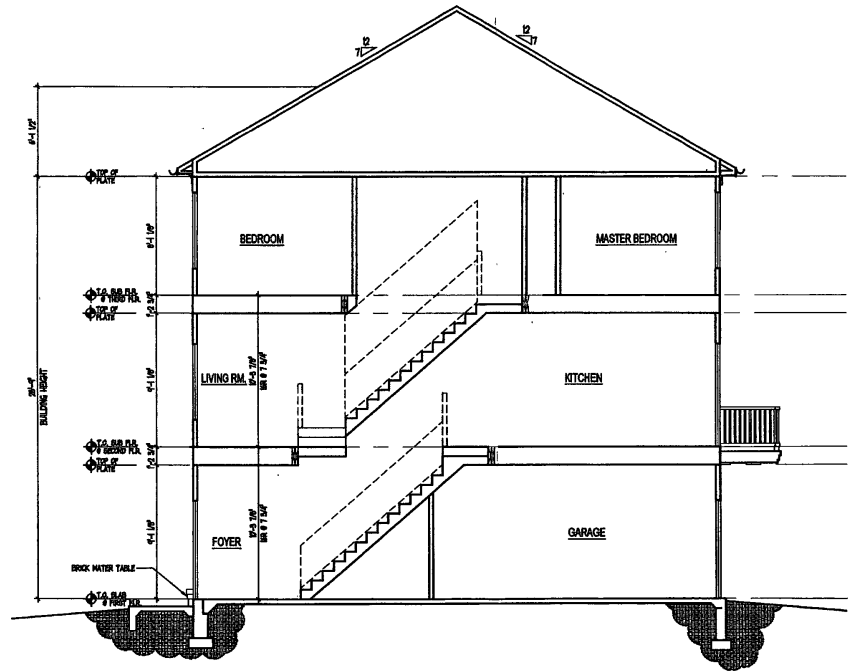


A.320

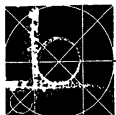
SECTIONS



2 Partial Section - Unit D
SCALE: 1/4"=1'-0"



1 Section - Unit D
SCALE: 1/4"=1'-0"



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SECTIONS
UNIT "D" 18' T.H.

JANUARY 30, 2007

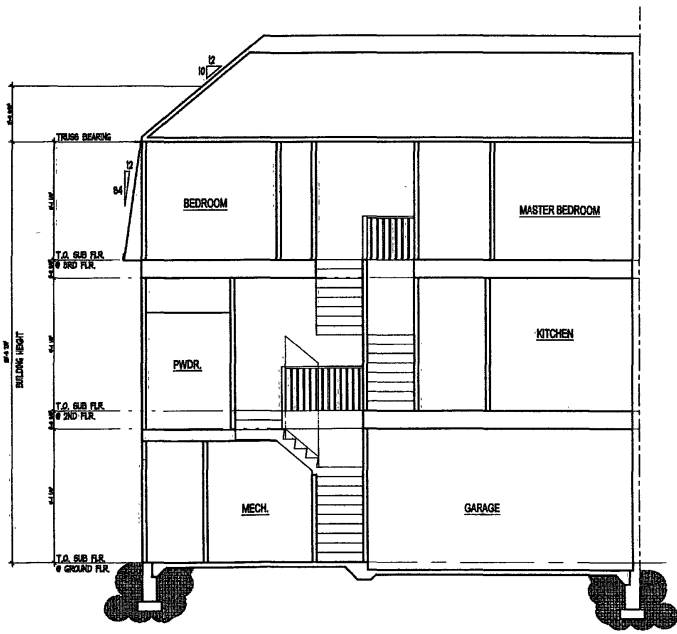
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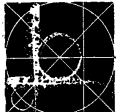


1/8"=1'-0"
SECTIONS

A.330



1 Section - Unit E - w / Opt. English Basement
 SCALE: 1/4"=1'-0"
 H02.06.00.00



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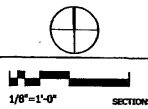
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SECTIONS
 UNIT "E" 20' T.H.
 JANUARY 30, 2007

TOWN HOMES AT
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HORNING BROTHERS
 HOR.026A.00G.



A.340



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RENDERED SITE PLAN

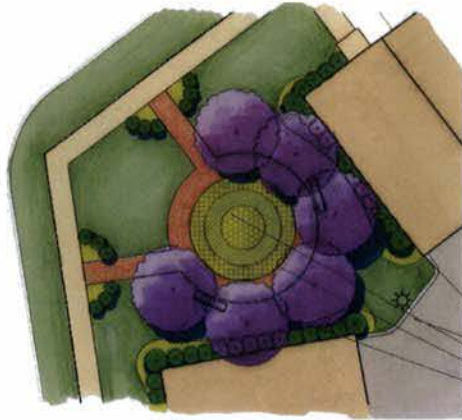
SUBMISSION DATE: 1/30/17

**TOWN HOMES AT
STANTON SQUARE**

**HORNING BROTHERS
HOR.026A.00G.**



L1.00



- BENCH TYP.
- SHRUB TYP.
- SPECIALTY PAVING
- GROUNDCOVER TYP.
- ORNAMENTAL TREE TYP.

1 CORNER PARK ENLARGEMENT
 L1.01 Scale: 1"=10'-0"

PLAN



TYPICAL TOT LOT



MODULAR BLOCK WALL



TYPICAL CORNER PARK



MODULAR BLOCK WALL



- BENCH TYP.
- GROUND COVER TYP.
- SPECIALTY PAVING
- ORNAMENTAL TREE TYP.

- EVERGREEN TREE TYP.
- SHADE TREE TYP.
- ORNAMENTAL TREE TYP.
- SHRUB TYP.
- 4'-8" HIGH MODULAR BLOCK RETAINING WALLS

OVERLOOK STAIRS

2 OPEN SPACE ENLARGEMENT
 L1.01 Scale: 1"=20'-0"

PLAN

STUDIO39

Landscape Architecture, F.C.
 1111 17th Street, Suite 200
 Arlington, VA 22202
 Phone: 703.760.9344 | Fax: 703.760.9328

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ENLARGEMENTS & IMAGES

SUBMISSION DATE: 1/30/07

TOWN HOMES AT STANTON SQUARE

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 HOR.026A.006




L1.01

SEE 1/L1.01
 CORNER PARK
 STREET LIGHT
 TYPICAL BENCH

SEE 2/L1.01

ORNAMENTAL TREE
 SHADE TREE
 EVERGREEN TREE
 4" APPROX. IF HIGH MODULAR
 RETAINING WALLS
 TOT LOT
 OVERLOOK
 STAIRS

CORNER PARK
 TYPICAL STOOP
 SEE 2/L1.01

TYPICAL TREE SPECIES	
<u>SHADE TREES</u>	
SCARLET OAK	
PIN OAK	
CHINESE ELM	
VALLEY FORGE ELM	
JAPANESE ZELKOWA	
GREEN AND WHITE ASH	
<u>ORNAMENTAL TREES</u>	
SERVICEBERRY	
KOLUSA DOGWOOD	
RIVER BIRCH	
EASTERN REDBUD	
FOTONIA CORYMBOSA	
YOSHINO CHERRY	
<u>EVERGREEN TREES</u>	
JAPANESE CRYPTOMERIA	
AMERICAN HOLLY	
NORWAY SPRUCE	
FOSTERS HOLLY	
<u>LEGEND</u>	
	STREET LIGHT (SINGLE ARM PENDANT POLE W/ LAMP)

STUDIO39

SITE PLAN
 Scale: 1"=40'-0"

Landscape Architecture, P.C.
 10000 Lee Highway, Suite 100
 Fairfax, VA 22030
 Tel: 703.760.9344
 Fax: 703.760.9328

PLAN



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

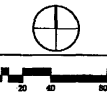
P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

SITE PLAN

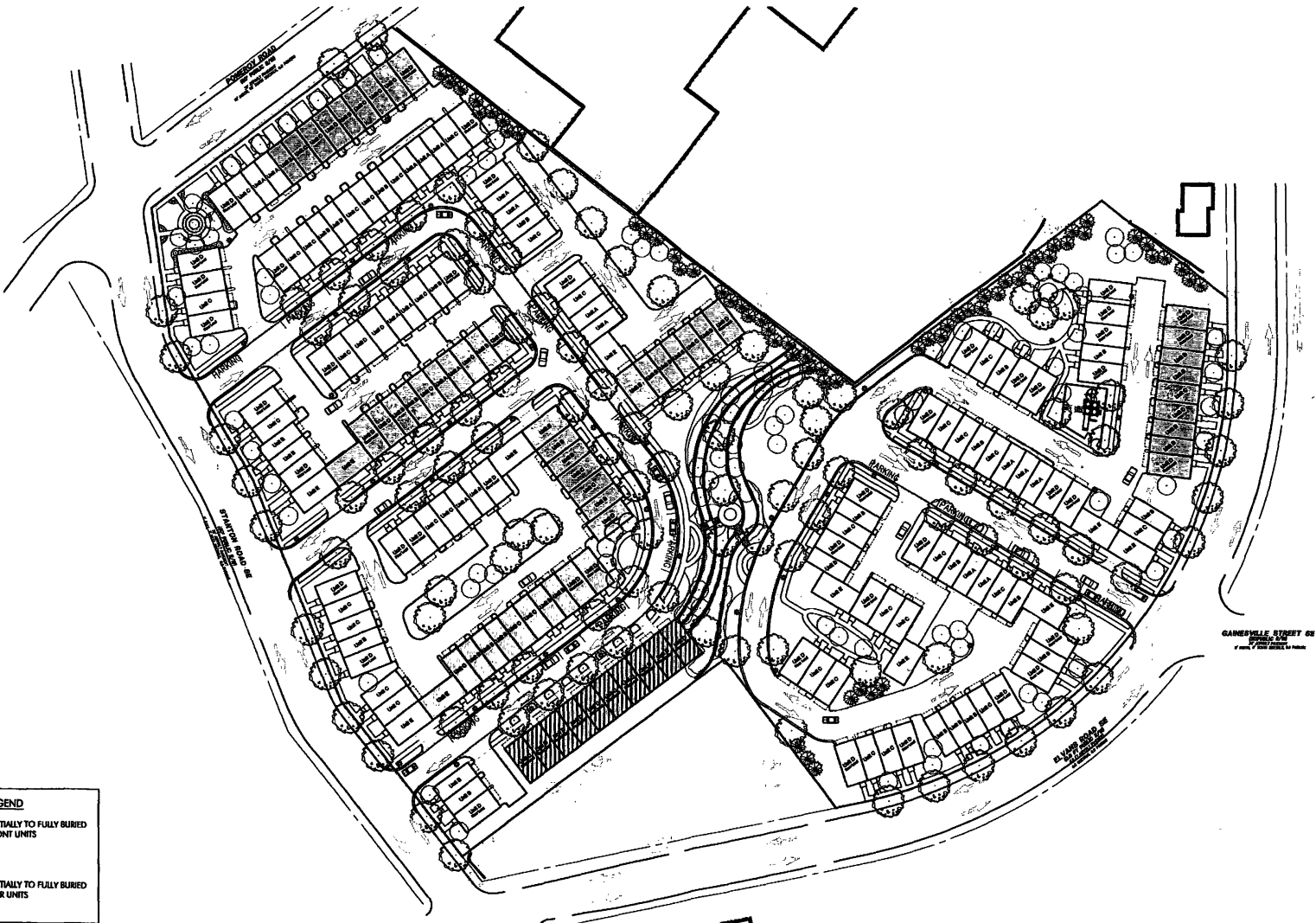
SUBMISSION DATE: 1/30/07

TOWN HOMES AT STANTON SQUARE



HORNING BROTHERS
 HOR.026A.00G.



L1.02



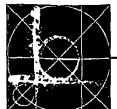
LEGEND

 PARTIALLY TO FULLY BURIED FRONT UNITS
 PARTIALLY TO FULLY BURIED REAR UNITS

BURIED BASEMENT LOCATION PLAN
 1.103 Scale: 1"=40'-0"

STUDIO39
 Landscape Architecture, P.C.
 8521 Leesburg Pike, Suite 700
 Vienna, VA 22182

PLAN



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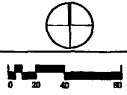
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BURIED BASEMENT LOCATION PLAN

SUBMISSION DATE: 1/30/07

TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
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L1.03



EXISTING		LEGEND	
	ELECTRIC LINE & MH		TELEPHONE LINE & MH
	LIGHT POST & TRAFFIC LIGHT		SANITARY LINE & MH
	STORM INLET		STORM LINE & MH
	GAS LINE & VALVE		GAS METER
	WATER LINE & MH		WATER METER & FIRE HYDRANT
	SIAMESE HYDRANT & WATER VALVE		IRON FENCE
	SPOT ELEVATIONS		CONCRETE SIDEWALK
	CURB & GUTTER		TREES
	SIGN POLE		PARKING METER

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Existing Conditions Plan

January 30, 2007

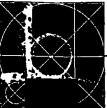
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
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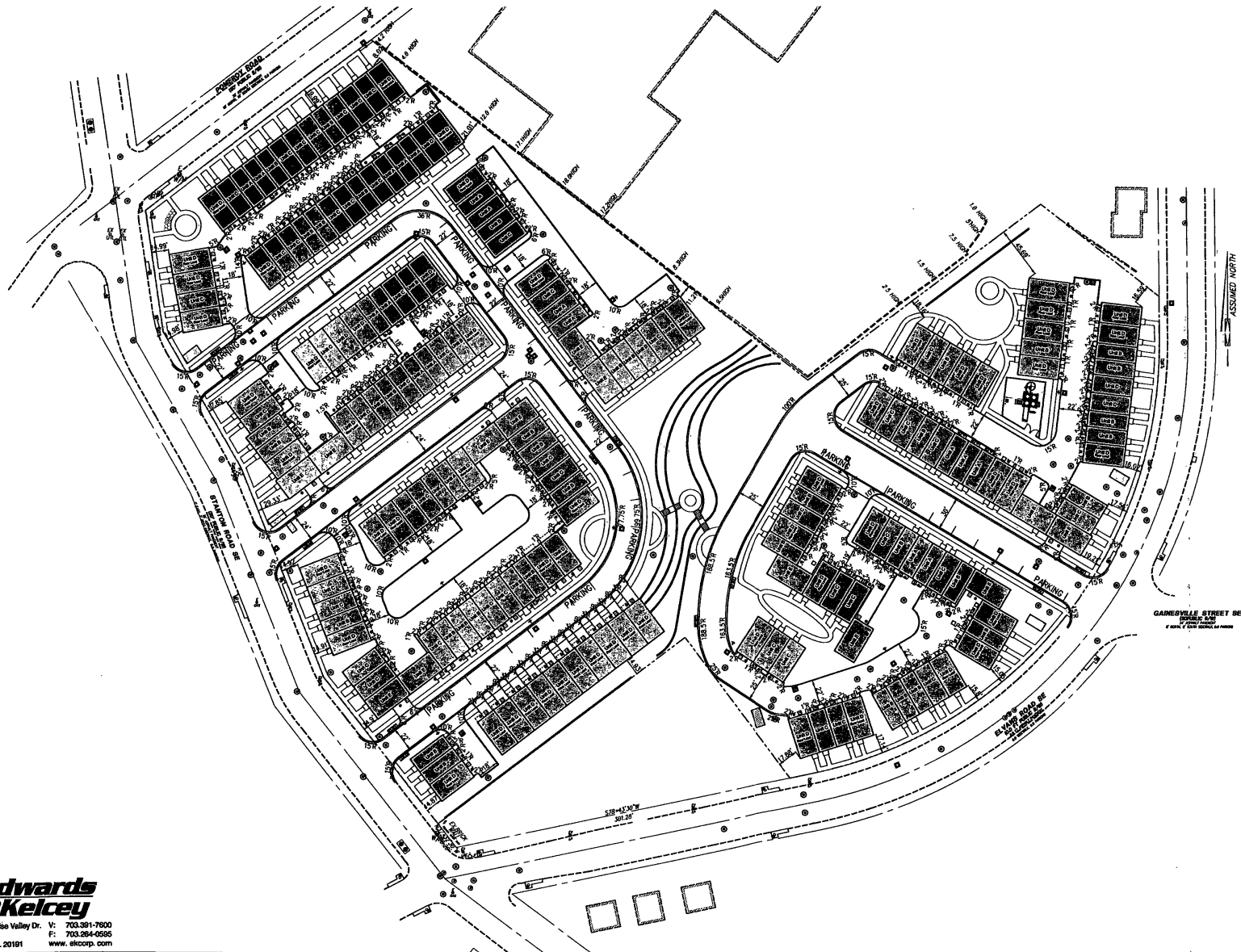
C.01



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LEGEND:

- UNIT A 14 FOOT WIDE TOWNHOME
- UNIT B 14 FOOT WIDE TOWNHOME
- UNIT C 16 FOOT WIDE TOWNHOME
- UNIT D 18 FOOT WIDE TOWNHOME
- UNIT E 20 FOOT WIDE TOWNHOME



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Site Plan

January 30, 2007

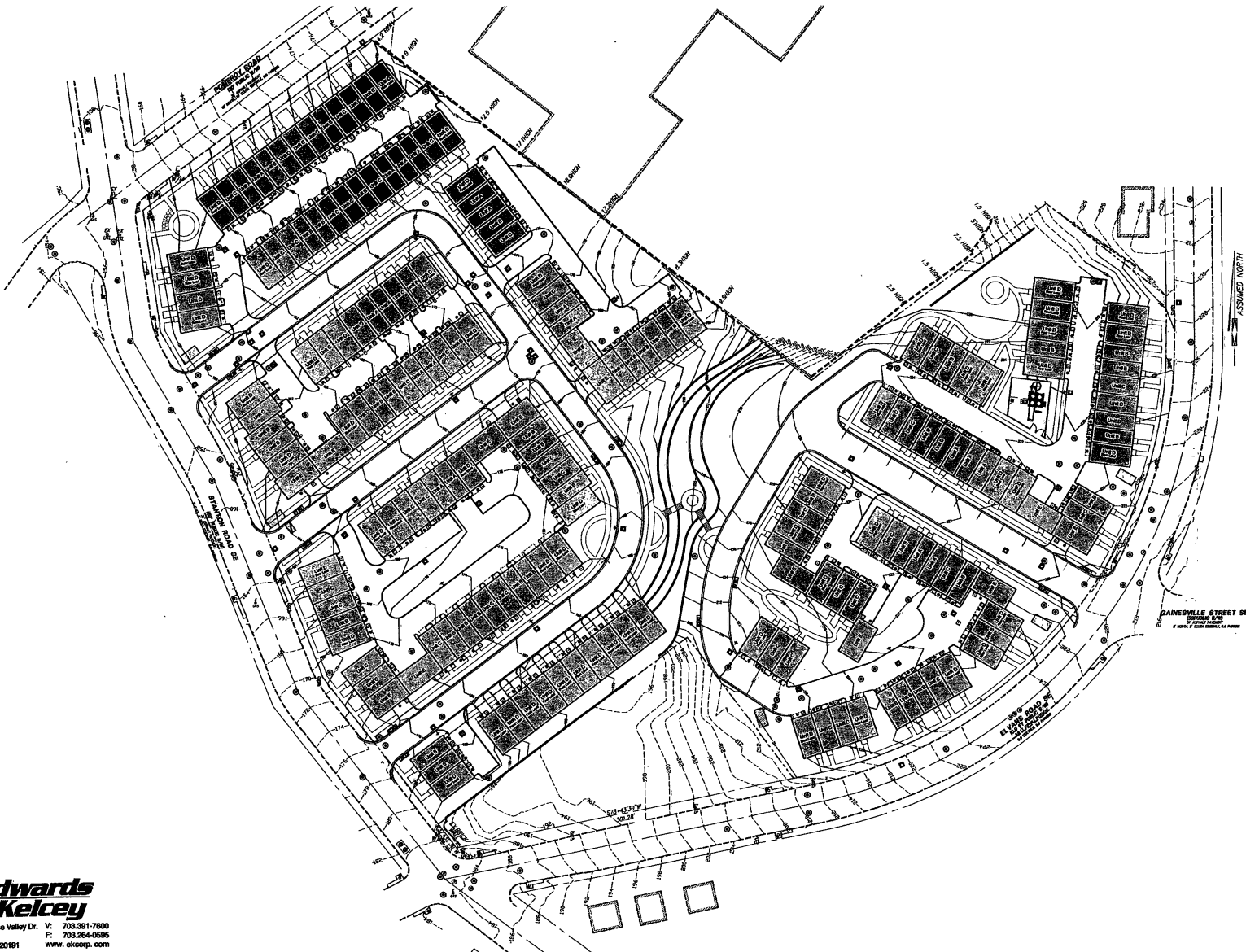
**TOWN HOMES AT
 STANTON SQUARE**

HORNING BROTHERS
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Grading Plan

January 30, 2007

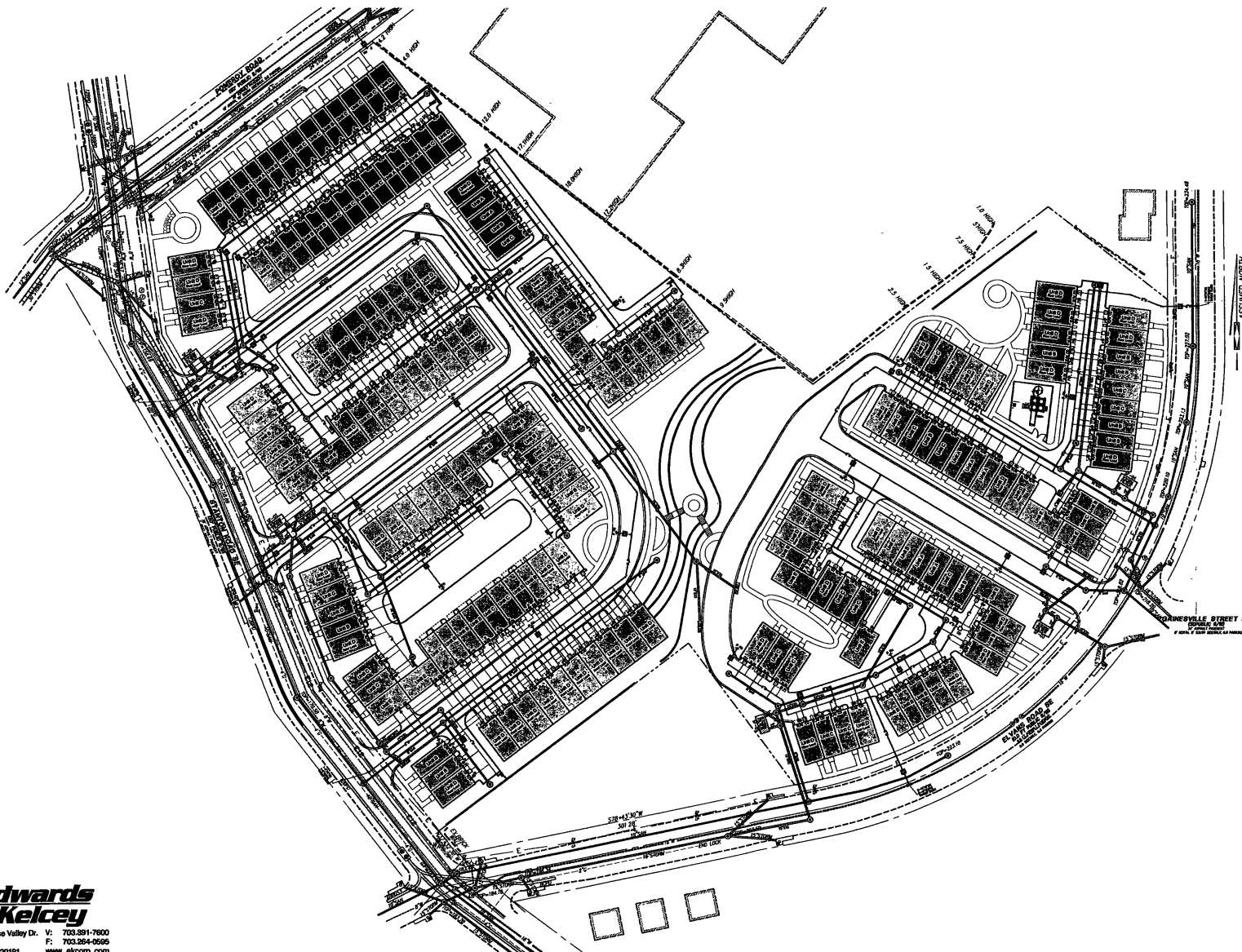
**TOWN HOMES AT
STANTON SQUARE**

**HORNING BROTHERS
HOR.026A.00G.**



Not To Scale

C.03



EXISTING	LEGEND	PROPOSED
	ELECTRIC LINE & STRUCTURE	
	TELEPHONE LINE & STRUCTURE	
	LIGHT POLE, STREET LIGHT	
	SANITARY LINE & MH	
	STORM INLET	
	STORM LINE	
	CLEANOUT	
	GAS LINE & VALVE	
	GAS METER	
	WATER LINE & MH	
	WATER METER & FIRE HYDRANT	
	SIAMESE HYDRANT & WATER VALVE	
	TEST PIT REQUIRED	
	PARKING METER	
	CHAIN LINK FENCE	
	SPOT ELEVATIONS	
	CONCRETE SIDEWALK	
	CURB & GUTTER	
	PAVING AREA	
	PAVEMENT MARKING	
	RETAINING WALL	
	CONCRETE PAVEMENT	
	EXPANSION JOINT	
	CONTRACTION JOINT	

AVERAGE DAILY WATER DEMAND AND SEWAGE FLOW:

WATER: 310 GPD/UNIT X 184 UNITS = 64,440 GPD
 SEWAGE: 300 GPD/UNIT X 184 UNITS = 55,200 GPD

NOTE:
 STORMWATER MANAGEMENT FACILITIES AND SEDIMENTATION AND EROSION CONTROLS TO MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA, DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION AND WILL BE PROVIDED BY MEANS OF STORMPILERS OR EQUAL TO BE APPROVED BY DEPARTMENT OF ENVIRONMENT.

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Utility Plan

January 30, 2007

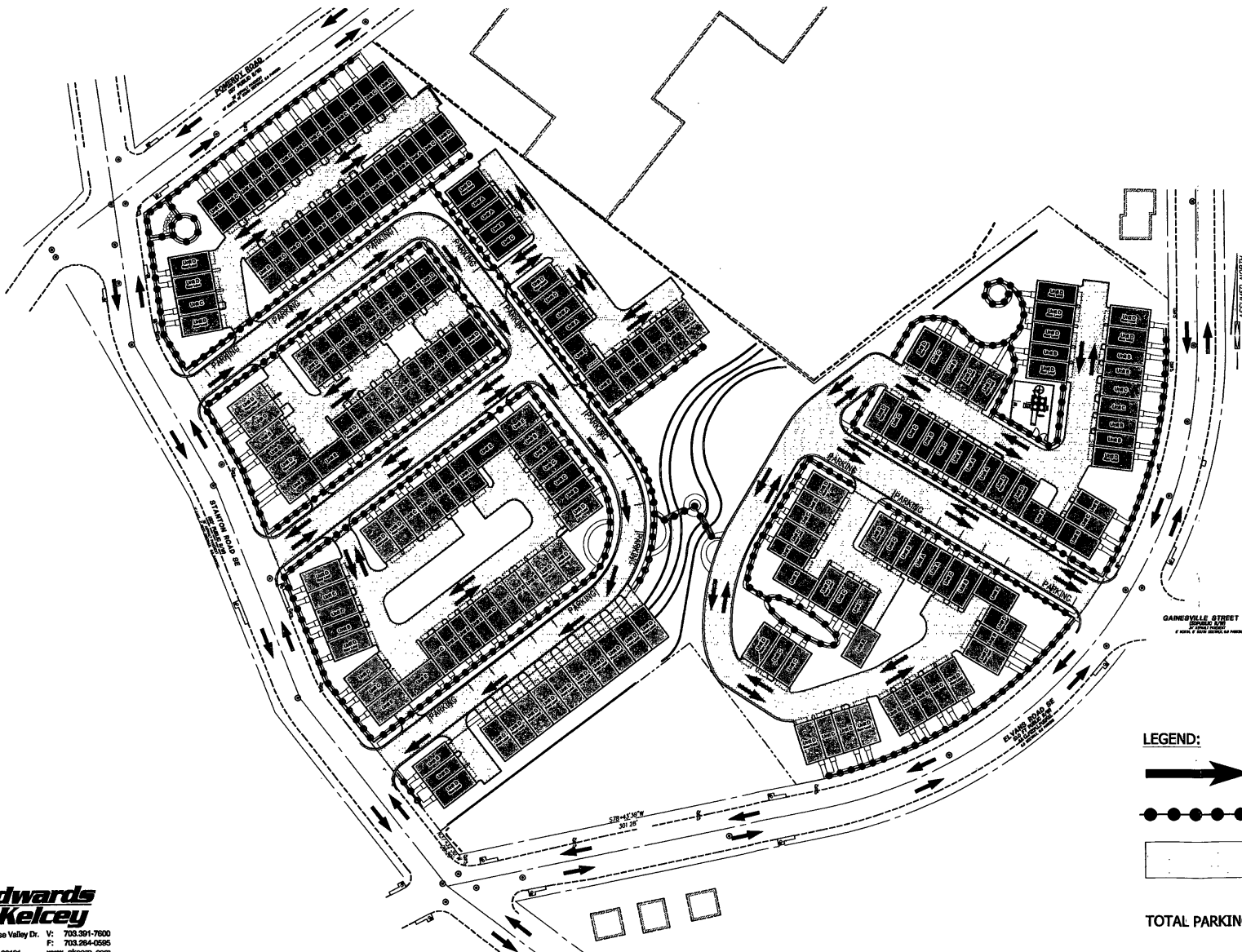
TOWN HOMES AT STANTON SQUARE

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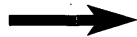
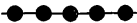
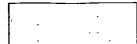
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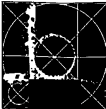
GAINESVILLE STREET SE
 1/2" = 10' (SEE SHEET 02A.00G)
 1/4" = 10' (SEE SHEET 02A.00G)

LEGEND:

-  DIRECTION OF EXISTING AND/OR PROPOSED TRAFFIC FLOW
-  PRIMARY PEDESTRIAN CIRCULATION
-  PRIMARY VEHICULAR CIRCULATION

TOTAL PARKING SPACES = 37

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Circulation Plan

January 30, 2007

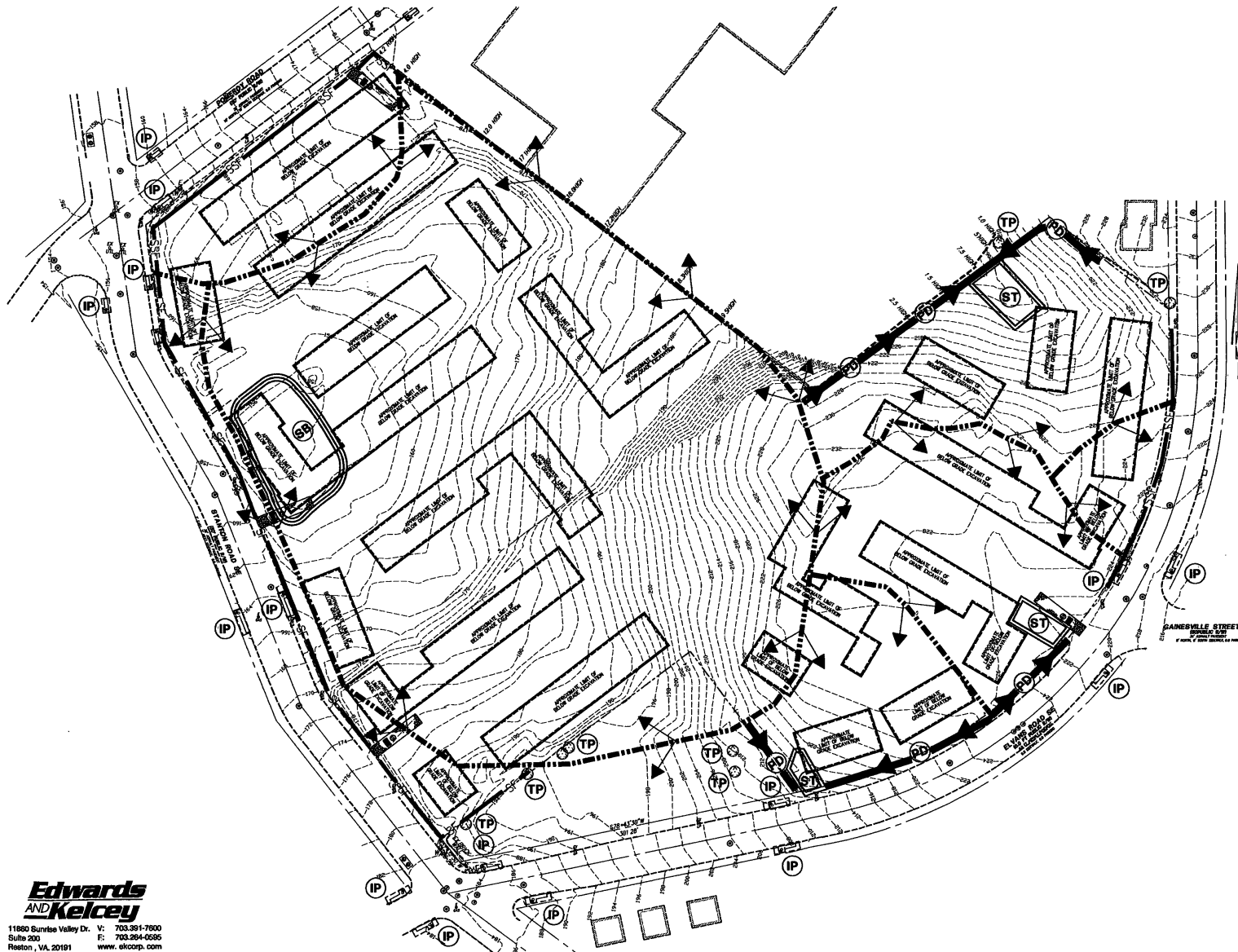
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
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C.05



- CONSTRUCTION AND STABILIZATION SEQUENCE:**
1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, TREE PROTECTION, SILT FENCE, AS INDICATED ON THE SHEET. SEE SHEET C.07 FOR SEDIMENT AND EROSION CONTROL DETAILS.
 2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
 3. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
 4. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

- NOTE:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
 2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
 3. PROVIDE CONSTRUCTION FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
 4. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIZED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF HEALTH, WATERSHED PROTECTION DIVISION.
 5. REFER TO THE CORRECTIVE ACTION PLAN AND THE DISTRICT OF COLUMBIA'S VOLUNTARY REDEMPTION ACTION PROGRAM AUTHORIZATION FOR TREATMENT OF CONTAMINATED GROUND WATER.

- DUST CONTROL NOTES:**
1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL, AND OTHER DELETERIOUS MATERIAL, TO BE USED FOR ON-SITE DUST CONTROL.
 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE.
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND WEST NOZZLES.
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

LEGEND:

PROPOSED	
TAMP CONSTRUCTION ENTRANCE	
WASH RACK	
SILT FENCE	
SUPER SILT FENCE	
TEMPORARY CONSTRUCTION FENCE	
INLET PROTECTION	
TREE PROTECTION	
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION	
DRAINAGE DIVIDE	
PERIMETER DIKE	
SEDIMENT BASIN	
SEDIMENT TRAP	

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Sedimentation and Erosion Control Plan

January 30, 2007

TOWN HOMES AT STANTON SQUARE

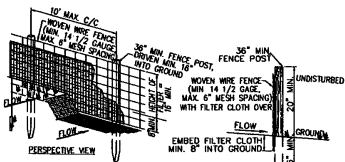
HORNING BROTHERS HOR.026A.00G.



Not To Scale

C.06

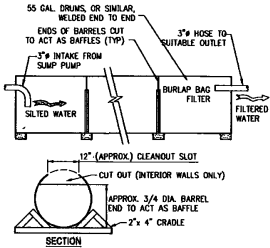
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CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:

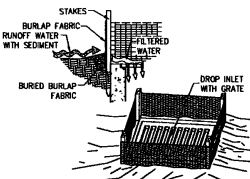
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTIONS WITH 1/2" GAUGE WIRE, 6" MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE (NO SCALE)



PORTABLE SEDIMENT TANK (NOT TO SCALE)

- CONSTRUCTION NOTES:**
1. THE STRUCTURE MAY BE CONSTRUCTED WITH STEEL DRUMS, STUDY WOOD OR OTHER MATERIAL SUITABLE FOR HANDLING THE PRESSURE EXERTED BY THE VOLUME OF THE WATER.
 2. SEDIMENT TANKS WILL HAVE A MINIMUM DEPTH OF TWO FEET.
 3. THE SEDIMENT TANK SHALL BE LOCATED FOR EASY CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE THE INTERFERENCE WITH CONSTRUCTION ACTIVITIES.
 4. THE FOLLOWING FORMULA SHALL BE USED TO DETERMINE THE STORAGE VOLUME OF THE SEDIMENT TANK:
 $PUMP\ DISCHARGE\ (G.P.M.) \times 10 \times 60\text{-SEC}\text{-CYCLE}\text{-FEET}\text{-OF}\text{-STORAGE}\text{-REQUIRED}$
 5. ONCE THE WATER LEVEL NEARS THE TOP OF THE TANK, THE PUMP MUST BE SHUT OFF WHILE THE TANK DRAINS AND ADDITIONAL CAPACITY IS MADE AVAILABLE.
 6. THE TANK SHALL BE DESIGNED TO ALLOW FOR EMERGENCY FLOW OVER TOP OF THE TANK.
 7. CLEAN-OUT OF THE TANK IS REQUIRED ONCE ONE-THIRD OF THE ORIGINAL CAPACITY IS DEPLETED DUE TO SEDIMENT ACCUMULATION. THE TANK SHALL BE CLEARLY MARKED SHOWING THE CLEAN-OUT POINT.



SPECIFIC APPLICATION:

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

BURLAP DROP INLET SEDIMENT FILTER (NOT TO SCALE)

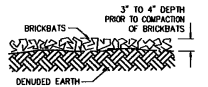
STANDARDS AND SPECIFICATIONS FOR BRICKBAT GROUND COVER

DEFINITION: TEMPORARY GROUND COVER CONSISTING OF BROWN BRICK (1/4" PIECE OR SMALLER) PLACED OVER EXPOSED EARTH.

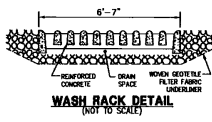
PURPOSE: BRICKBATS PROVIDE A TEMPORARY GROUND COVER OVER EXPOSED URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.

CONDITIONS WHEN PRACTICE APPLIES: BRICKBATS MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.

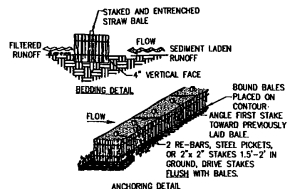
DESIGN CRITERIA: THE BRICKBATS SHALL BE PLACED TO A DEPTH OF 3 INCHES TO 4 INCHES COVERING THE DENUDED EARTH ON THE SITE, THEN COMPACTED AND LEVELLED.



BRICKBAT DETAIL (NOT TO SCALE)



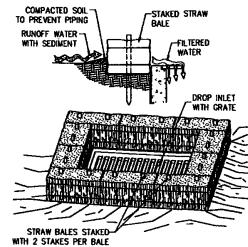
WASH RACK DETAIL (NOT TO SCALE)



CONSTRUCTION SPECIFICATIONS:

1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
2. EACH BALE SHALL BE ENGAGED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THAT BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.

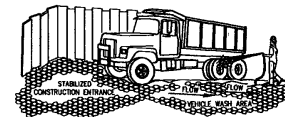
STRAW BALE DIKE (NOT TO SCALE)



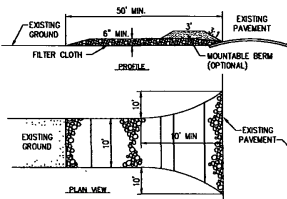
SPECIFIC APPLICATION:

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

STRAW BALE DROP INLET SEDIMENT FILTER (NOT TO SCALE)



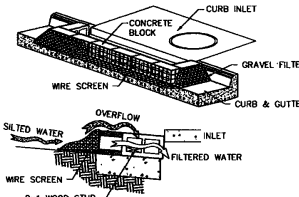
VEHICLE WASH DETAIL (NOT TO SCALE)



STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)

CONSTRUCTION RAMP SPECIFICATION:

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS COURSES.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PERMITTED ACROSS THE ENTRANCE. IF PUMP IS IMPRACTICAL, A MOUNTABLE BERM WITH S1 SLOPES - OF -WAY MUST BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPOILED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



CURB INLET SEDIMENT FILTER (NOT TO SCALE)

1. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ADJUTING THE CURB AT EITHER SIDE OF THE INLET OPENING.
2. A 2 INCH BY 4 INCH STUD SHALL BE CUT AND PLACED THROUGH THE OUTER HOLES OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
3. CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ADJUTING THE SPACER BLOCKS AS ILLUSTRATED.
4. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (NEEDING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. CHECKER WIRE OR HARBURG WIRE WITH 1/2-INCH OPENINGS SHALL BE USED.
5. TWO TO THREE INCH STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BARRIERS AS SHOWN.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

LIST OF STANDARD SYMBOLS

EARTH DIKE	A-2 / B-3
STRAW BALE DIKE	SBD
SILT FENCE	SF
TEMPORARY SWALE	A-2 / B-3
STABILIZED CONSTRUCTION ENTRANCE	SC1
GRADE STABILIZATION STRUCTURE	GSS-2 PSD-12
PIPE SLOPE DRAIN	GSS-3 PSD-12
PERIMETER DIKE/SWALE	IP
INLET PROTECTION	IP
DIVERSION	IP
GRASSED WATERWAY	IP
LINED WATERWAY	IP
ROCK OUTLET PROTECTION	IP
SUBSURFACE DRAIN	IP
TREE PROTECTION	TP
SEDIMENT TANK	ST
SUMP AND PUMP	SP
SHEETING AND SHORING	IP

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION: CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS PURPOSE.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY. CONDITIONS WHERE PRACTICE APPLIES.

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS:

- TEMPORARY METHODS:**
- A. MULCHES-SEE STANDARDS FOR CRITICAL AREA STABILIZATION WITH MULCHES ONLY. CHEMICAL OR WOOD CELLULOSE FIBER BINDERS MAY BE USED INSTEAD OF ASPHALT TO BIND WOOD MATERIAL.
 - B. VEGETATIVE COVER-SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
 - C. SPRAY-ON ADHESIVES-ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/AC
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

F. TILLAGE-TO ROUGHEN SURFACE AND BRING CLOSD TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL - TYPE PLOWS SPACED ABOUT 12" APART. SPRING-TOOTHED HARRROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

F. IRRIGATION-THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT SITE. SPRINKLED WITH WATER UNTIL THE SURFACE IS MOSTLY WET. REPEAT AS NEEDED.

F. BARRIERS-SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.

G. CALCIUM CHLORIDE-APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS:

A. PERMANENT VEGETATION-SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND PERMANENT STABILIZATION WITH SOO EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

B. TOPDRESSING-COVERING WITH LEAST ERODIBLE SOIL MATERIALS. SEE STANDARDS FOR TOPDRESSING.

C. STONE-COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

REFERENCES:

1. AGRICULTURE HANDBOOK 346. WIND EROSION FORCES IN THE UNITED STATES AND THEIR USE IN PREDICTING SOIL LOSS.
2. AGRICULTURE INFORMATION BULLETIN 354. HOW TO CONTROL WIND EROSION, USDA-ARS.

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Sedimentation and Erosion Control Details

January 30, 2007

TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS HOR.026A.00G.



Not To Scale

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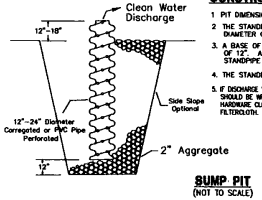
EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE AND WASH RACK WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL STRAIN BAUL DIXES AS SHOWN ON SEDIMENT AND EROSION CONTROL PLAN.
4. NO DISTURBED AREA WILL BE DENuded FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED ONLY BY THE CONTRACTOR, AND ANY DAMAGED SITUATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL STRAIN BAUL DIXES TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.

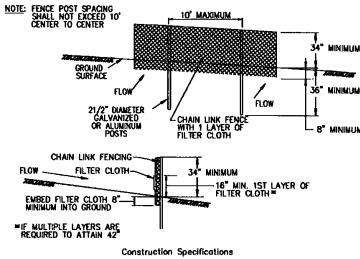
SILTATION EROSION CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEMOS IS TO BE REMOVED FROM THE SITE.
3. ALLEY AND / OR STREET SHALL BE SHEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. ANY DAMAGED DEMOS OR MEASURES WILL BE REPAIRED OR REPLACED BY THE CLOSE OF DAY OR AS DIRECTED BY THE ARCHITECT.
5. ALL VEHICLES LEAVING THE SITE SHALL EXT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEEDED OR SODDED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISTURBANCE.
9. WHEN SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 67% CAPACITY, CLEAN OUT OF SAME IS REQUIRED.
10. ANY STOOPING, REGARDLESS OF LOCATION ON SITE SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
11. AFTER RAZE OR DEMOS, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING. SUCH AS SEED, SOB, PAVING, BROOKBRACK OR MULCH, ETC.
12. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE D.C. EROSION AND SEDIMENT CONTROL INSPECTOR APPROVAL, ALL TEMPORARY SILTATION, SEDIMENTATION AND EROSION CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE PERMANENTLY STABILIZED.

CONSTRUCTION SPECIFICATIONS:



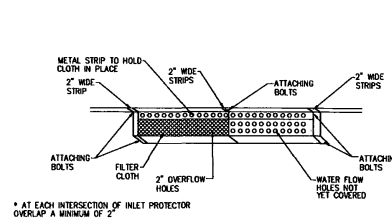
1. PIT DIMENSIONS ARE OPTIONAL.
1. THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12"-24" DIAMETER CORRUGATED OR PVC PIPE.
3. A BASE OF 2" AGGREGATE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD THEN BE BACKFILLED WITH 2" AGGREGATE.
4. THE STANDPIPE SHOULD EXTEND 12"-18" ABOVE THE LIP OF THE PIT.
5. IF DISCHARGE WILL BE PUMPED DIRECTLY TO A STORM DRAINAGE SYSTEM, THE STANDPIPE SHOULD BE WRAPPED WITH FILTER CLOTH BEFORE INSTALLATION. IF DESIRED, 1/4"-1/2" MESH PLASTIC CLOTH MAY BE PLACED AROUND THE STANDPIPE, PRIOR TO ATTACHING THE FILTERCLOTH. THIS WILL INCREASE THE RATE OF WATER SEEPAGE INTO THE PIPE.



1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 6" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 30% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

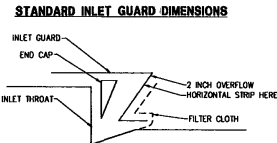
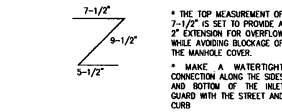
Tensile Strength	50 lbs/ft (min.)	Test: ASTM D-4595
Tensile Modulus	20 lbs/ft (typ)	Test: ASTM D-4595
Flow Rate	0.5 gal/ft ² /minute (max.)	Test: ASTM D-5141
Filtering Efficiency	75% (min.)	Test: ASTM D-5141

SUPER SILT FENCE
(NO SCALE)



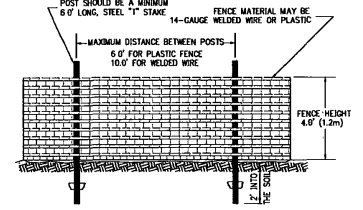
* AT EACH INTERSECTION OF INLET PROTECTOR OVERLAP A MINIMUM OF 2"

STANDARD INLET GUARD DIMENSIONS

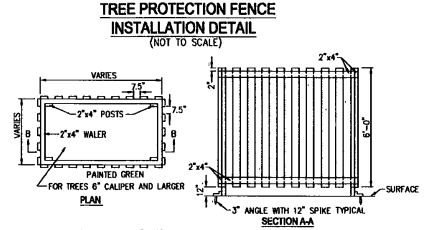


STANDARD INLET GUARD CROSS SECTION
(NOT TO SCALE)

GRADE INLET GUARD
(NOT TO SCALE)



NOTE: TREE PROTECTION FENCING MUST BE MAINTAINED THROUGHOUT CONSTRUCTION



1. TREES AS SHOWN ON THE PLAN TO REMAIN SHALL BE PROTECTED AS SHOWN TO PREVENT MECHANICAL INJURY. TREE PROTECTION MEASURES SHOULD BE AS CLOSE TO THE DRIP LINE OF THE TREE AS POSSIBLE AND AS SHOWN ON THE PLAN FOR STREET TREES AT THE CURB. PROTECTION FENCING SHALL BE ERCTED AT EDGE OF PAVING.
2. BRANCHES WILL NOT BE MAILED TO TREES DURING BUILDING OPERATIONS.
3. NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS SHALL BE ALLOWED WITHIN TREE PROTECTION FENCING.
4. HEAVY EQUIPMENT OPERATORS WILL BE CAUTIONED TO AVOID DAMAGE TO EXISTING TREE TRUNKS AND ROOTS DURING LAND LEVELING OPERATIONS, TUNNEL UNDER ROOT SYSTEM WHEN INSTALLING UTILITY LINES, IF POSSIBLE.
5. TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DAMAGED DURING EQUIPMENT OPERATIONS WILL BE CARED FOR AS PRESCRIBED BY A FORESTER OR LICENSED TREE EXPERT.
6. THE USE OF HEAVY EQUIPMENT ON ROOT SYSTEMS OF DESIRABLE TREES MUST BE AVOIDED TO PREVENT SOIL COMPACTION. ALL CONSTRUCTION SHOULD BE KEPT OUT OF THE DRIP LINE OF PLECTED TREES. PROTECTIVE FENCING SHALL BE UTILIZED FOR TREES BEING RETAINED AND SHALL BE LOCATED AT THE DRIP LINE AND AS SHOWN ON THE PLAN.
6. DURING THE FIRST TWO SUMMERS FOLLOWING CONSTRUCTION, IT IS DESIRABLE THAT THE TREES RECEIVE ADEQUATE AMOUNTS OF WATER.

TYPICAL TREE PROTECTION FENCING
(NOT TO SCALE)



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January 30, 2007

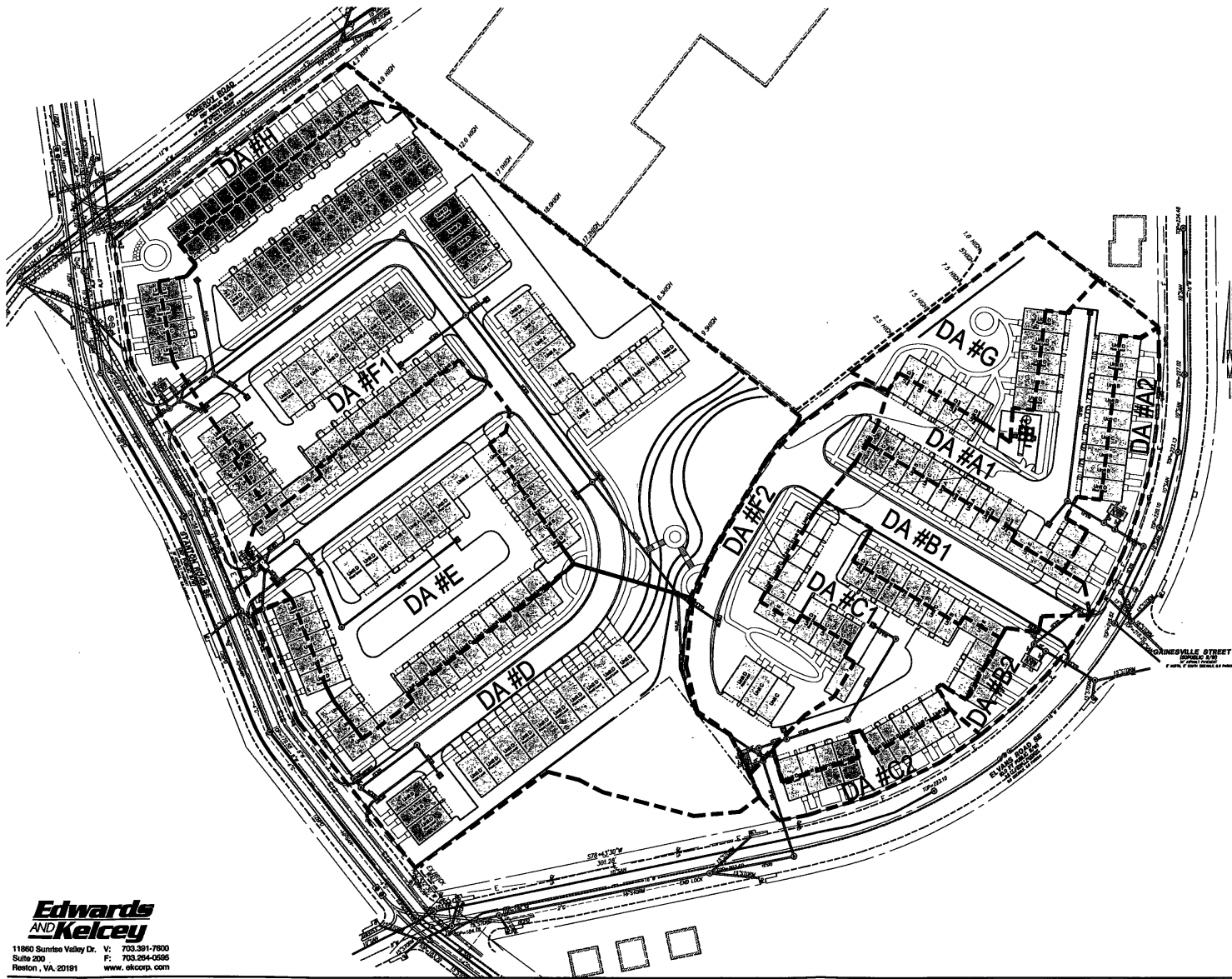
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



Not To Scale

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STORMFILTER DESIGN							
FILTER #	NAME OF DRAINAGE AREA	TOTAL AREA (AC)	IMPERVIOUS AREA			TOTAL C VALUE	REMARKS
			ROAD (AC)	ROOF & SIDEWALK (AC)	GRASS & TREE (AC)		
#1	DA #F1	2.48	0.77	0.88	0.83	0.78	
	DA #F2	3.58	0.26	0.17	0.36	0.76	
	TOTAL	3.06	1.02	1.05	0.99	0.76	
#2	DA #E	1.07	0.40	0.39	0.28	0.78	
	DA #D	1.44	0.22	0.39	0.83	0.80	
	TOTAL	2.51	0.62	0.78	1.11	0.89	
#3	DA #H1	0.46	0.15	0.18	0.07	0.85	
	DA #H2	0.52	0.21	0.22	0.12	0.82	
	TOTAL	1.06	0.20	0.78	0.10	0.88	
UNCONTROLLED AREA	DA #I	0.23	0.02	0.18	0.03	0.87	
	DA #C2	0.16	0.00	0.08	0.07	0.88	
	DA #A2	0.05	0.01	0.04	0.04	0.84	
	TOTAL	0.39	0.00	0.12	0.09	0.89	
TOTAL						0.83	

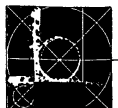
STORMFILTER DESIGN
 ROAD = 0.50 IN
 ROOF & SIDEWALK = 0.30 IN
 FLOW BASE DESIGNER THE MANUFACTURER WITH A STORM DURATION OF 1.0 HOUR
 DESIGN
 ROAD = 0.50 IN (RNC 2.0) = 0.5 IN (AD 95 X 1183) = 0.43 IN RHR
 ROOF & SIDEWALK (max 4 in) = (RNC 2.0) = 0.3 IN (AD 95 X 1183) = 0.32 IN RHR

STORMFILTER DESIGN							
FILTER #	NAME OF DRAINAGE AREA	TOTAL AREA (AC)	IMPERVIOUS AREA			TOTAL C VALUE	REMARKS
			ROAD (AC)	ROOF & SIDEWALK (AC)	GRASS & TREE (AC)		
#1	DA #F1	2.48	0.77	0.88	0.83	0.75	
	DA #F2	3.58	0.26	0.17	0.36	0.76	
	TOTAL	3.06	1.02	1.05	0.89	0.78	
#2	DA #E	1.07	0.40	0.39	0.28	0.79	
	DA #D	1.44	0.22	0.39	0.83	0.80	
	TOTAL	2.51	0.62	0.78	1.11	0.89	
#3	DA #H1	0.46	0.15	0.18	0.07	0.85	
	DA #H2	0.52	0.21	0.22	0.12	0.82	
	TOTAL	1.06	0.20	0.78	0.10	0.89	

FILTER #	FLOW TO BE TREATED	FILTER CAPACITY	NO OF CARTRIDGE	RECOMMEND STORMFILTER	REMARKS
#1	0.83	373.75	15 GPM	25	PRECAST BX16 STORMFILTERS
#2	0.89	248.57	15 GPM	16	PRECAST BX16
#3	0.17	74.57	15 GPM	5	PRECAST BX12 PROVIDED WITH
#4	0.22	97.17	15 GPM	6	PRECAST BX12 A STORMFILT
#5	0.36	218.63	15 GPM	14	PRECAST BX16 FLOW SPLITTER

NOTE:
 1. STORMFILTERS SHALL HAVE A MINIMUM CAPACITY OF 80% REMOVAL RATE OF TSS (SUSPENDED SOLID), 80% OF TP (PHOSPHORUS) AND 80% OF TN (NITROGEN) FOR THE RUNOFF OF 0.5" FROM PAVED AREA AND 1.0" FROM ROOF AND SIDEWALK AREA.
 2. THE UNCONTROLLED AREA SHALL BE OVERCOMPENSATED BY THE CONTROLLED AREA AND THE OVERALL SITE POLLUTION REMOVAL RATE SHALL BE:
 TSS - 80%
 TP - 80%
 TN - 80%

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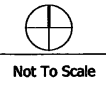
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Storm Water Management Plan

January 30, 2007

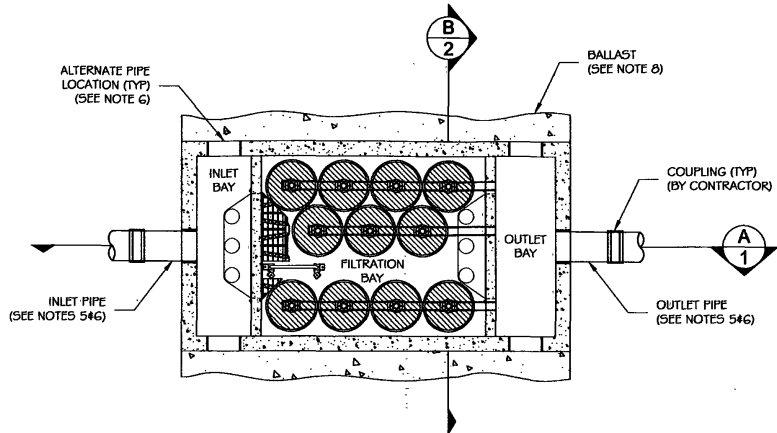
TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
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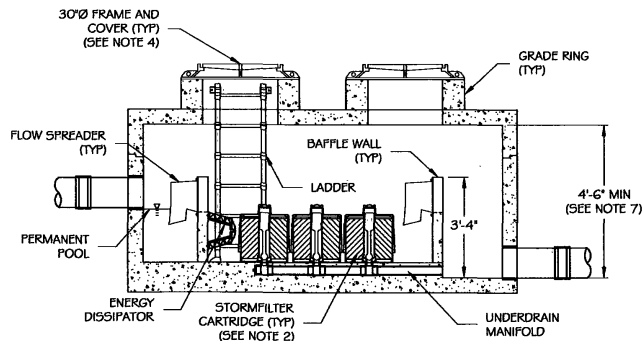


C.09

DESIGNER GROUP HAS PROVIDED A SUMMARY OF THE DESIGN AND CONSTRUCTION OF THE FACILITIES. THESE FACILITIES ARE TO BE CONSTRUCTED AND OPERATED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION SPECIFICATIONS AND STANDARDS OF THE DISTRICT OF COLUMBIA, DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION AND WILL BE PROVIDED BY MEANS OF STORMFILTERS OR EQUAL TO BE APPROVED BY DEPARTMENT OF ENVIRONMENT.



6' x 12' STORMFILTER - PLAN VIEW 1



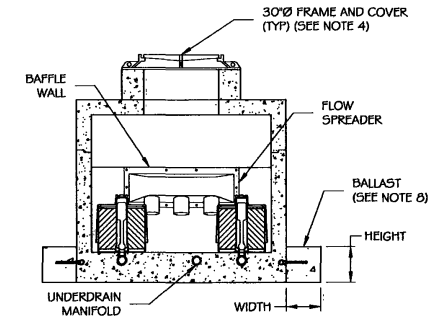
6' x 12' STORMFILTER - SECTION VIEW A

THE STORMWATER MANAGEMENT
StormFilter®
U.S. PATENT No. 5,322,629,
No. 5,707,527, No. 6,027,639
No. 6,649,049, No. 5,624,576,
AND OTHER U.S. AND FOREIGN
PATENTS PENDING

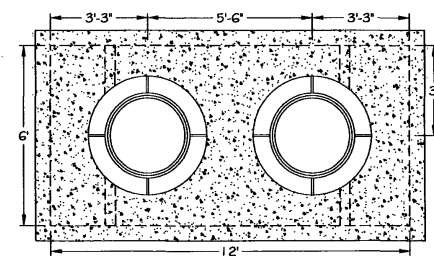
6' x 12' PRECAST STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

**Edwards
AND
Kelcey**
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- GENERAL NOTES**
- 1) STORMFILTER BY CONTECH STORMWATER SOLUTIONS; PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; ELK RIDGE, MD (866) 740-3318.
 - 2) FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
 - 3) PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C857 AND C858. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
 - 4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
 - 5) STORMFILTER REQUIRES 2.3 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.
 - 6) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMFILTER VAULT EQUIPPED WITH EITHER CORED OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.
 - 7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.
 - 8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR, IF REQUIRED. BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF THE STRUCTURE.
 - 9) ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.



6' x 12' STORMFILTER - SECTION VIEW B



6' x 12' STORMFILTER - TOP VIEW 1

6' x 12' PRECAST STORMFILTER DATA			
STRUCTURE ID	XXX		
WATER QUALITY FLOW RATE (cfs)	X.XX		
PEAK FLOW RATE (cfs)	X.XX		
RETURN PERIOD OF PEAK FLOW (yrs)	XX		
# OF CARTRIDGES REQUIRED	XX		
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	XX		
MEDIA TYPE (CSF, PERLITE, ZPG)	XXXXX		
PIPE DATA:			
INLET PIPE # 1	I.E.	MATERIAL	DIAMETER
INLET PIPE # 2	XXX.XX'	XXX	XX"
OUTLET PIPE	XXX.XX'	XXX	XX"
RIM			
LADDER		YES/NO	
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
	XX"	XX"	
NOTES/SPECIAL REQUIREMENTS:			

THE STORMWATER MANAGEMENT
StormFilter®
U.S. PATENT No. 5,322,629,
No. 5,707,527, No. 6,027,639
No. 6,649,049, No. 5,624,576,
AND OTHER U.S. AND FOREIGN
PATENTS PENDING

6' x 12' PRECAST STORMFILTER
TOP VIEW, SECTION VIEW AND NOTES
STANDARD DETAIL

**Storm Water Management Details
StormFilter 6'x12'**

January 30, 2007

LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

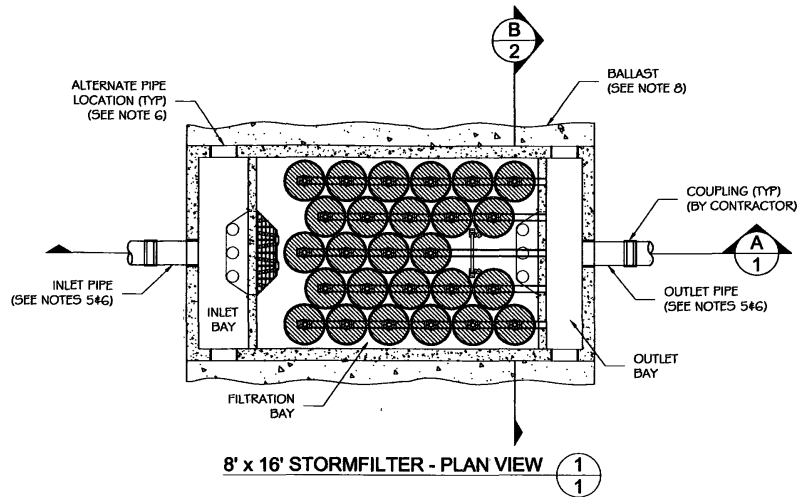
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.

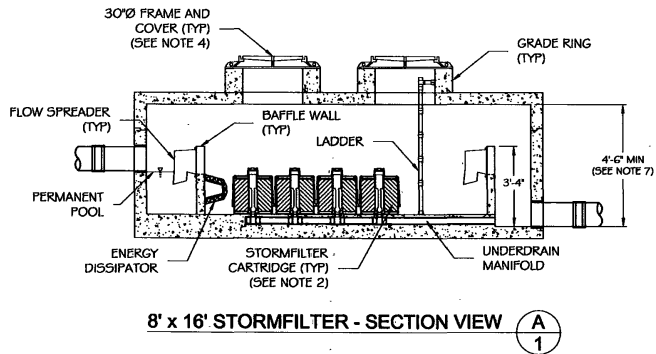


Not To Scale

C.10

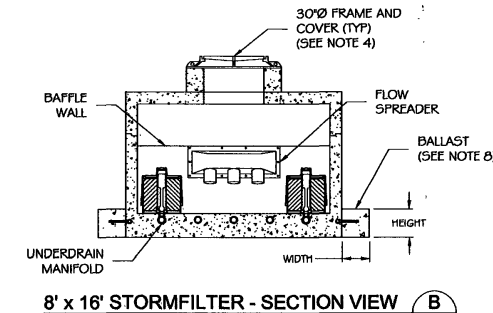


8' x 16' STORMFILTER - PLAN VIEW 1
1

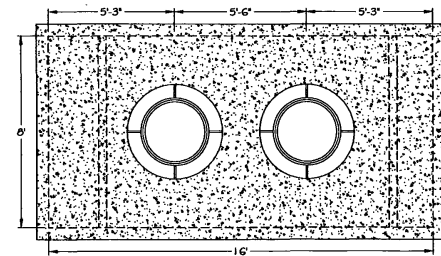


8' x 16' STORMFILTER - SECTION VIEW A
1

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8' x 16' STORMFILTER - SECTION VIEW B
2



8' x 16' STORMFILTER - TOP VIEW 1
2

GENERAL NOTES

- 1) STORMFILTER BY CONTECH STORMWATER SOLUTIONS; PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; ELKRIDGE, MD (866) 740-3318.
- 2) FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
- 3) PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C857 AND C858. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- 4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
- 5) STORMFILTER REQUIRES 2.3 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.
- 6) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMFILTER VAULT EQUIPPED WITH EITHER CORED OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.
- 7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.
- 8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR, IF REQUIRED. BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF THE STRUCTURE.
- 9) ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.

8' x 16' PRECAST STORMFILTER DATA			
STRUCTURE ID			XXX
WATER QUALITY FLOW RATE (cfs)			X.XX
PEAK FLOW RATE (cfs)			X.XX
RETURN PERIOD OF PEAK FLOW (yrs)			XXX
# OF CARTRIDGES REQUIRED			XX
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)			XX
MEDIA TYPE (CSF, PERLITE, ZPG)			XXXXX
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	XXX.XX"	XXX"	XX"
INLET PIPE #2	XXX.XX"	XXX"	XX"
OUTLET PIPE	XXX.XX"	XXX"	XX"
RIM			
LADDER			
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	YES/NO
	XX"	XX"	XX"
NOTES/SPECIAL REQUIREMENTS:			

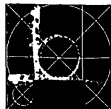
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11860 Sunrise Valley Dr. V: 703.391-7800
Suite 200 F: 703.394-0558
Reston, VA, 20191 www.ekcorp.com

8' x 16' PRECAST STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

8' x 16' PRECAST STORMFILTER
TOP AND SECTION VIEWS, NOTES AND DATA
STANDARD DETAIL



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StormFilter 8'x16'

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Not To Scale

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